

LIDL

MONTGOMERY VILLAGE WHETSTONE CENTER SITE PLAN # 820200030

PROJECT TEAM

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GENERAL NOTES

- THE TOPOGRAPHY SHOWN IS TAKEN FROM A FIELD RUN SURVEY PREPARED BY GRS GROUP, LLC DATED AUGUST 13, 2018.
- EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
- BOUNDARY INFORMATION IS BASED ON AN ALTA/SPS LAND TITLE SURVEY PREPARED BY GRS GROUP, LLC DATED AUGUST 19, 2018.
- THE PROPERTY IS WITHIN THE 2016 MONTGOMERY VILLAGE MASTER PLAN AREA.
- THE PROPERTY IS WITHIN THE MONTGOMERY VILLAGE OVERLAY ZONE.
- THE PROPERTY IS WITHIN THE GREAT SENECA CREEK WATERSHED.
- THE EXISTING WATER SERVICE CATEGORY IS W-1.
- THE EXISTING SEWER SERVICE CATEGORY IS S-1.
- AN NRJFSD FOR THE PROPERTY WAS APPROVED ON APRIL 30, 2019 UNDER PLAN # 420191630.
- THE PROPERTY IS NOT IDENTIFIED IN THE LOCATION ATLAS AND INDEX OF HISTORICAL SITES, NOR IS IT IDENTIFIED IN THE MASTER PLAN FOR HISTORIC PRESERVATION.
- A STORMWATER MANAGEMENT CONCEPT FOR THIS DEVELOPMENT IS UNDER REVIEW BY THE DEPARTMENT OF PERMITTING SERVICES UNDER PLAN #285012.
- ALL UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE; SEE APPROVED UTILITY DRAWINGS. SERVICING UTILITY COMPANIES INCLUDE:
WATER & SEWER: WSSC
NATURAL GAS: WASHINGTON GAS
ELECTRIC: PERCO
TELECOMMUNICATIONS: VERIZON & COMCAST
- PROPERTY LINES AND LOT/PARCEL AREAS ARE SUBJECT TO ADJUSTMENT AT THE TIME OF SUBDIVISION RECORD PLAT COMPUTATION.
- UNLESS SPECIFICALLY NOTED ON THIS PLAN DRAWING OR IN THE PLANNING BOARD CONDITIONS OF APPROVAL, THE BUILDING FOOTPRINTS, BUILDING HEIGHTS, SETBACKS, ON-SITE PARKING, SITE CIRCULATION, AND SIDEWALKS SHOWN ON THIS PRELIMINARY PLAN OF SUBDIVISION ARE ILLUSTRATIVE. THE FINAL DETAILS OF BUILDINGS, STRUCTURES, AND HARDSCAPE WILL BE DETERMINED AT THE TIME OF SITE PLAN REVIEW.

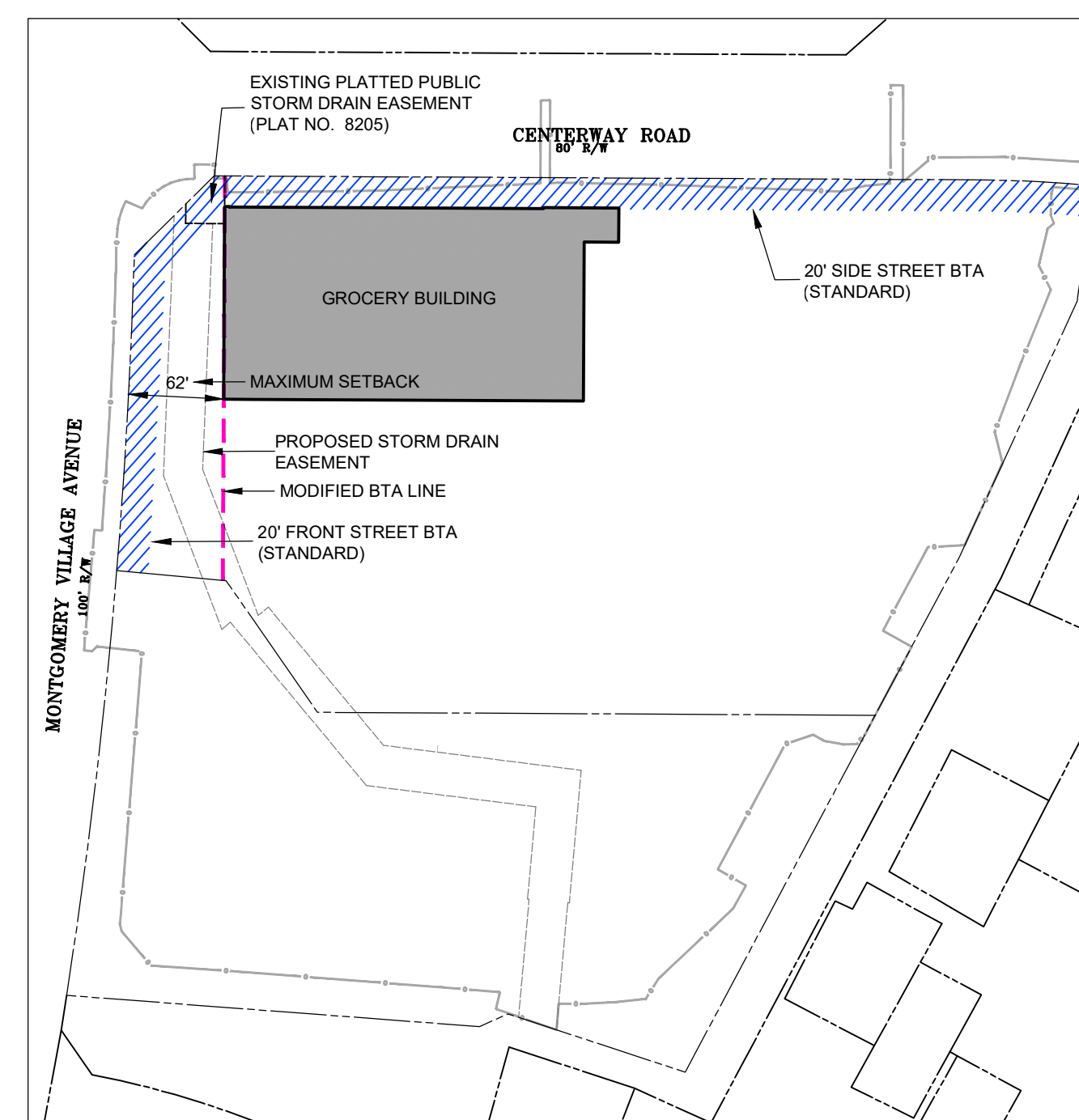
SHEET INDEX

- C0.01 COVER SHEET
- C0.02 RESOLUTION SHEET
- C2.01 SITE PLAN DRAWING
- L1.01 FINAL FOREST CONSERVATION PLAN
- L1.02 FINAL FOREST CONSERVATION DETAILS
- L2.01 LANDSCAPE PLAN
- L2.02 LANDSCAPE DETAILS
- L2.03 LANDSCAPE DETAILS
- EL-1 SITE LIGHTING PLAN - PHOTOMETRIC CALCULATIONS
- EL-2 SITE LIGHTING PLAN - FIXTURE LOCATIONS
- EL-5 SITE LIGHTING PLAN - FIXTURE DETAILS
- A-200 BUILDING ELEVATIONS

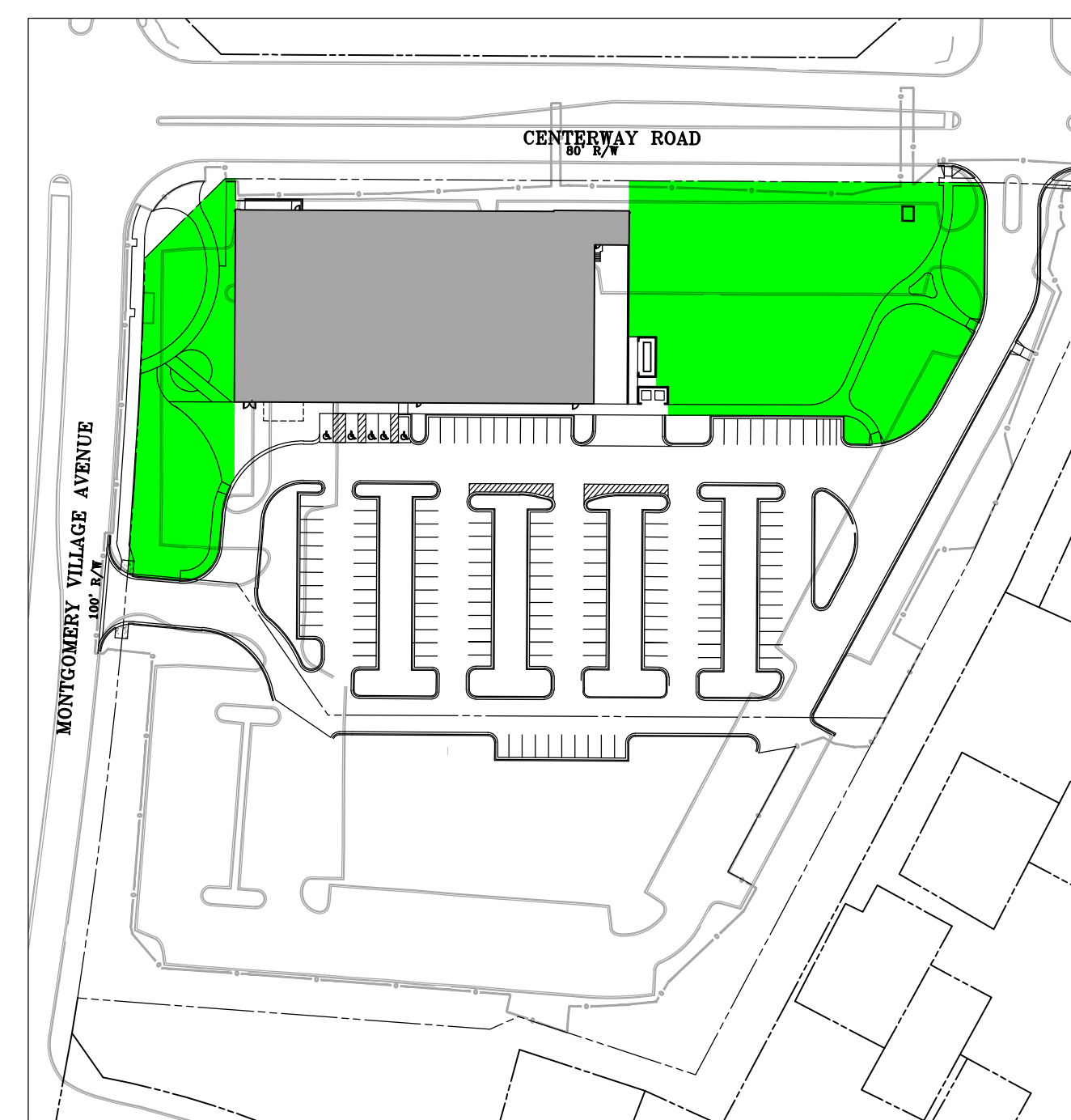
CRT-1.25 C-1.0 R-1.0 H-75 ZONE & MONTGOMERY VILLAGE OVERLAY DEVELOPMENT STANDARDS (STANDARD METHOD OF DEVELOPMENT, FAR-1.0)

	PERMITTED/REQUIRED	PROVIDED PER PLAN
MINIMUM PUBLIC OPEN SPACE (TRACT >10,000 SF): 59.4.5.3.C.1	10.0% (18,479 SF)	25.3% (46,796 S.F.)
MINIMUM LOT AREA 59.4.5.3.C.2	N/A	184,794 SF (4.24 AC)
MAXIMUM TOTAL DENSITY (FAR) - STANDARD METHOD 59.4.5.3.C.2	1.00 (184,794 SF)	0.16 (30,000 SF)
MAXIMUM LOT COVERAGE 59.4.5.3.C.2	N/A	16.2%
MINIMUM FRONT SETBACK 59.4.5.3.C.3	0 FT.	57 FT. (MONTGOMERY VILLAGE AVE)
MINIMUM SIDE STREET SETBACK 59.4.5.3.C.3	0 FT.	19 FT. (CENTERWAY ROAD)
MINIMUM SIDE SETBACK, ABUTTING NON-RESIDENTIAL 59.4.5.3.C.3 / 59.4.1.8.A	0 FT.	116 FT. (SOUTH)
MINIMUM REAR SETBACK, ABUTTING RESIDENTIAL (R-90) 59.4.5.3.C.3 // 59.4.1.8.A	37.5 FT.	260 FT. (EAST)
MINIMUM FRONT SETBACK, PARKING 59.4.5.3.C.3	BEHIND FRONT BUILDING LINE IN THE BTA	ALL PARKING IS LOCATED BEHIND FRONT BUILDING LINE IN BTA
MINIMUM SIDE STREET SETBACK, PARKING 59.4.5.3.C.3	BEHIND SIDE STREET BUILDING LINE IN THE BTA	ALL PARKING IS LOCATED BEHIND SIDE STREET BUILDING LINE IN BTA
MINIMUM SIDE SETBACK, PARKING 59.4.5.3.C.3	10 FT. TO ACCOMMODATE LANDSCAPING UNDER 59-6.2.9	N/A ¹
MINIMUM REAR SETBACK, PARKING 59.4.5.3.C.3	10 FT. TO ACCOMMODATE LANDSCAPING UNDER 59-6.2.9	74 FT.
BUILD TO AREA (BTA) MIN. FACADE IN BTA FRONT SETBACK 59.4.5.3.C.3	70% (20 FT. OR AS MODIFIED)	100% (MONTGOMERY VILLAGE AVE) (MODIFIED TO 62 FT. 7")
BUILD TO AREA (BTA) MIN. FACADE IN BTA SIDE STREET SETBACK 59.4.5.3.C.3	35% (20 FT. OR AS MODIFIED)	100% (CENTERWAY ROAD)
MAXIMUM BUILDING HEIGHT, PRINCIPAL BUILDING 59.4.5.3.C.4	75 FT.	25 FT.
MINIMUM BUILDING TRANSPARENCY, GROUND STORY FRONT 59.4.5.3.C.5	40%	40% ²
MINIMUM BUILDING TRANSPARENCY, GROUND STORY REAR 59.4.5.3.C.5	25%	25% ²
MAXIMUM BLANK WALL 59.4.5.3.C.5	35 FT.	35 FT. ²
PARKING LOT INTERNAL LANDSCAPED AREA 59-6.2.9.C.1	5% (TBD)	27% ⁴
PARKING LOT TREE CANOPY 59-6.2.9.C.2	25%	25% ⁴
PARKING LOT PERIMETER PLANTING WIDTH, ABUTTING RESIDENTIAL 59-6.2.9.C.3	10 FT.	40 FT. ⁴
VEHICLE PARKING REQUIREMENTS (WITHIN REDUCED PARKING AREA) 59-6.2.4.B	100 SPACES MINIMUM (2.5 PER 1,000 SF) 180 SPACES MAXIMUM (6 PER 1,000 SF)	141 SPACES ² (SEE BREAKDOWN BELOW)
MINIMUM NUMBER OF ACCESSIBLE SPACES: 59.6.2.3.B / COMAR 05.02.02	5 SPACES	5 SPACES
MOTORCYCLE/SCOOTER SPACES: 59.6.2.3.C	3 SPACES	4 SPACES
CAR-SHARE SPACES: 59.6.2.3.D	1 SPACE	1 SPACE
ELECTRIC VEHICLE CHARGING SPACES (FUTURE): 59.6.2.3.E	2 SPACES	2 SPACES
PARKING PROVIDED BREAKDOWN		
STANDARD ACCESSIBLE		128 SPACES
MOTORCYCLE/SCOOTER		5 SPACE
CAR SHARE		4 SPACES
ELECTRIC VEHICLE CHARGING		1 SPACE
		2 SPACES
MINIMUM BICYCLE PARKING SPACES REQUIRED 59-6.2.4.C	3 SPACES (1 LONG TERM) (1.0 PER 10,000 SF)	5 SPACES (1 LONG TERM)
MINIMUM NUMBER OF LOADING SPACES 59-6.2.4.B	1 SPACE	1 SPACE

- FOOTNOTES:
- PARKING LOCATED ALONG SIDE (SOUTH) PROPERTY LINE ABUTS ANOTHER PARKING LOT, THEREFORE SECTION 59-6.2.9.C.3 DOES NOT APPLY.
 - IN ACCORDANCE WITH 59-4.5.3.C.3 AT THE BUILD TO AREA MAXIMUM FRONT SETBACK ALONG THE NORTH PORTION OF MONTGOMERY VILLAGE AVENUE IS INCREASED TO ACCOMMODATE AN EXISTING PUBLIC STORM DRAIN EASEMENT SHOWN ON PLAT 8205.
 - SEE ARCHITECTURAL ELEVATIONS.
 - SEE LANDSCAPE PLANS.
 - NUMBER OF PARKING SPACES ARE FOR PROPOSED LOT 35 ONLY. REMAINING SPACES ON PROPOSED LOT 36 ARE SUBJECT TO CHANGE AT FUTURE SITE PLAN FOR THAT PROPERTY.



BUILD TO AREA (BTA) DIAGRAM - PERCENT OF FACADE IN BTA
MODIFIED FRONT STREET = 100%
20' SIDE STREET = 100%



PUBLIC OPEN SPACE DIAGRAM
TOTAL OPEN SPACE = 46,796 SF

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF SITE PLAN APPROVAL NO. 820200030 INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER: LIDL US, LLC COMPANY CONTACT PERSON: CONNOR BEVANS
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SIGNATURE: _____

REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP F141 WSSC 228W10
PLATS 9651 & 9993
9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

**PARCEL 3C, LOT 27, &
LOTS 29-35
WHETSTONE
PROFESSIONAL CENTER**

PROJ. MGR PGL
DRAWN BY PGL
SCALE 1"=30'
DATE 08.13.2019

**SITE PLAN
COVER SHEET**

C0.01
PROJECT NO. 18.291.11
SHEET NO. 1 OF 1