

LIDL

MONTGOMERY VILLAGE WHETSTONE CENTER SITE PLAN # 820200030

PROJECT TEAM

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GENERAL NOTES

- THE TOPOGRAPHY SHOWN IS TAKEN FROM A FIELD RUN SURVEY PREPARED BY GRS GROUP, LLC DATED AUGUST 13, 2018.
- EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
- BOUNDARY INFORMATION IS BASED ON AN ALTA/SPS LAND TITLE SURVEY PREPARED BY GRS GROUP, LLC DATED AUGUST 19, 2018.
- THE PROPERTY IS WITHIN THE 2016 MONTGOMERY VILLAGE MASTER PLAN AREA.
- THE PROPERTY IS WITHIN THE MONTGOMERY VILLAGE OVERLAY ZONE.
- THE PROPERTY IS WITHIN THE GREAT SENECA CREEK WATERSHED.
- THE EXISTING WATER SERVICE CATEGORY IS W-1.
- THE EXISTING SEWER SERVICE CATEGORY IS S-1.
- AN NRJFSD FOR THE PROPERTY WAS APPROVED ON APRIL 30, 2019 UNDER PLAN # 420191630.
- THE PROPERTY IS NOT IDENTIFIED IN THE LOCATION ATLAS AND INDEX OF HISTORICAL SITES, NOR IS IT IDENTIFIED IN THE MASTER PLAN FOR HISTORIC PRESERVATION.
- A STORMWATER MANAGEMENT CONCEPT FOR THIS DEVELOPMENT IS UNDER REVIEW BY THE DEPARTMENT OF PERMITTING SERVICES UNDER PLAN #285012.
- ALL UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE; SEE APPROVED UTILITY DRAWINGS. SERVICING UTILITY COMPANIES INCLUDE:
WATER & SEWER: WSSC
NATURAL GAS: WASHINGTON GAS
ELECTRIC: PERCO
TELECOMMUNICATIONS: VERIZON & COMCAST
- PROPERTY LINES AND LOT/PARCEL AREAS ARE SUBJECT TO ADJUSTMENT AT THE TIME OF SUBDIVISION RECORD PLAT COMPUTATION.
- UNLESS SPECIFICALLY NOTED ON THIS PLAN DRAWING OR IN THE PLANNING BOARD CONDITIONS OF APPROVAL, THE BUILDING FOOTPRINTS, BUILDING HEIGHTS, SETBACKS, ON-SITE PARKING, SITE CIRCULATION, AND SIDEWALKS SHOWN ON THIS PRELIMINARY PLAN OF SUBDIVISION ARE ILLUSTRATIVE. THE FINAL DETAILS OF BUILDINGS, STRUCTURES, AND HARDSCAPE WILL BE DETERMINED AT THE TIME OF SITE PLAN REVIEW.

ADJACENT PUBLIC RIGHT-OF-WAY NOTES

- ALL NEW SIDEWALKS OR SIDEPATHS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ADA DESIGN STANDARDS.
- ANY EXISTING SIDEWALK SEGMENTS THAT ARE NOT ADA COMPLIANT MUST BE REPLACED TO MEET CURRENT ADA DESIGN STANDARDS.
- ALL NEW AND EXISTING MANHOLE COVERS MUST MEET CURRENT ADA DESIGN STANDARDS.

SITE DATA

SUBJECT PROPERTIES
MONTGOMERY VILLAGE
WHETSTONE PROFESSIONAL CENTER
PARCEL 3C & LOTS 27, 29-35
PLATS 9993 & 9951

PROPERTY OWNER:
LIDL US OPERATIONS, LLC
3500 S CLARK STREET
ARLINGTON, VA 22202

TRACT AREA:
191,984 SF (4.4074 AC)^{1,2}

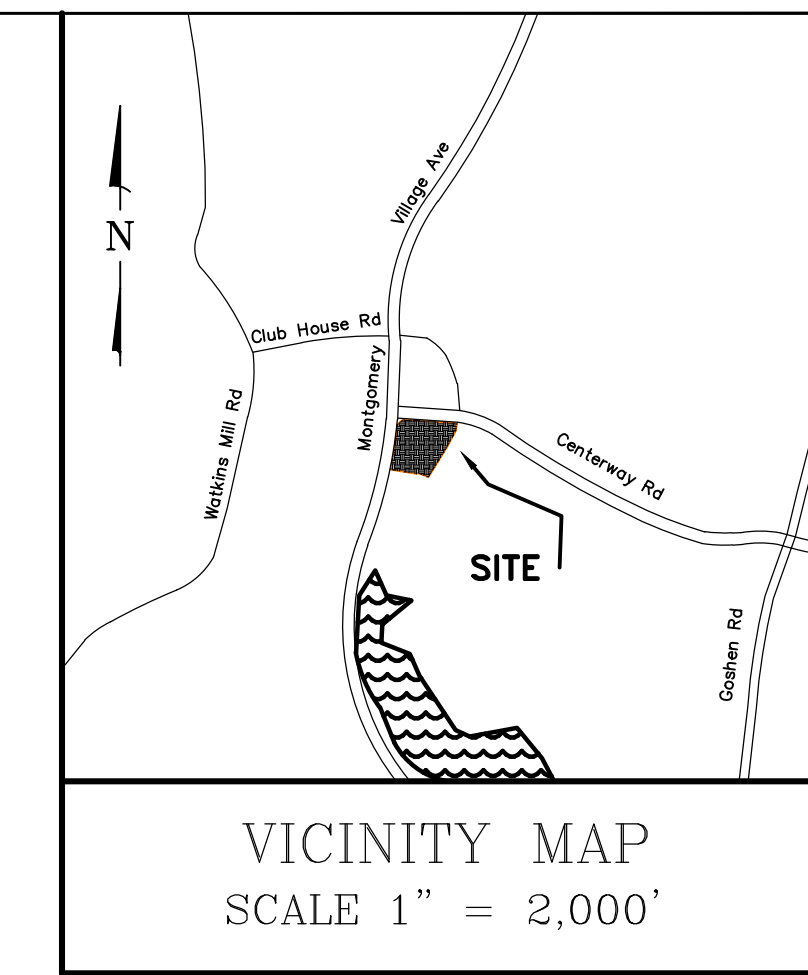
PRIOR DEDICATIONS:
NA¹

PROPOSED DEDICATION:
NONE PROPOSED

ZONING CLASSIFICATION:
CRT-1.25, C-1.0, R-1.0, H-75

PROPOSED USE:
RETAIL/SERVICE ESTABLISHMENT

- PROJECT IS NOT TAKING CREDIT FOR ANY PRIOR RIGHT-OF-WAY DEDICATION IN CALCULATING GROSS TRACT AREA.
- NET LOT AREA PER PRELIMINARY PLAN 120200020.



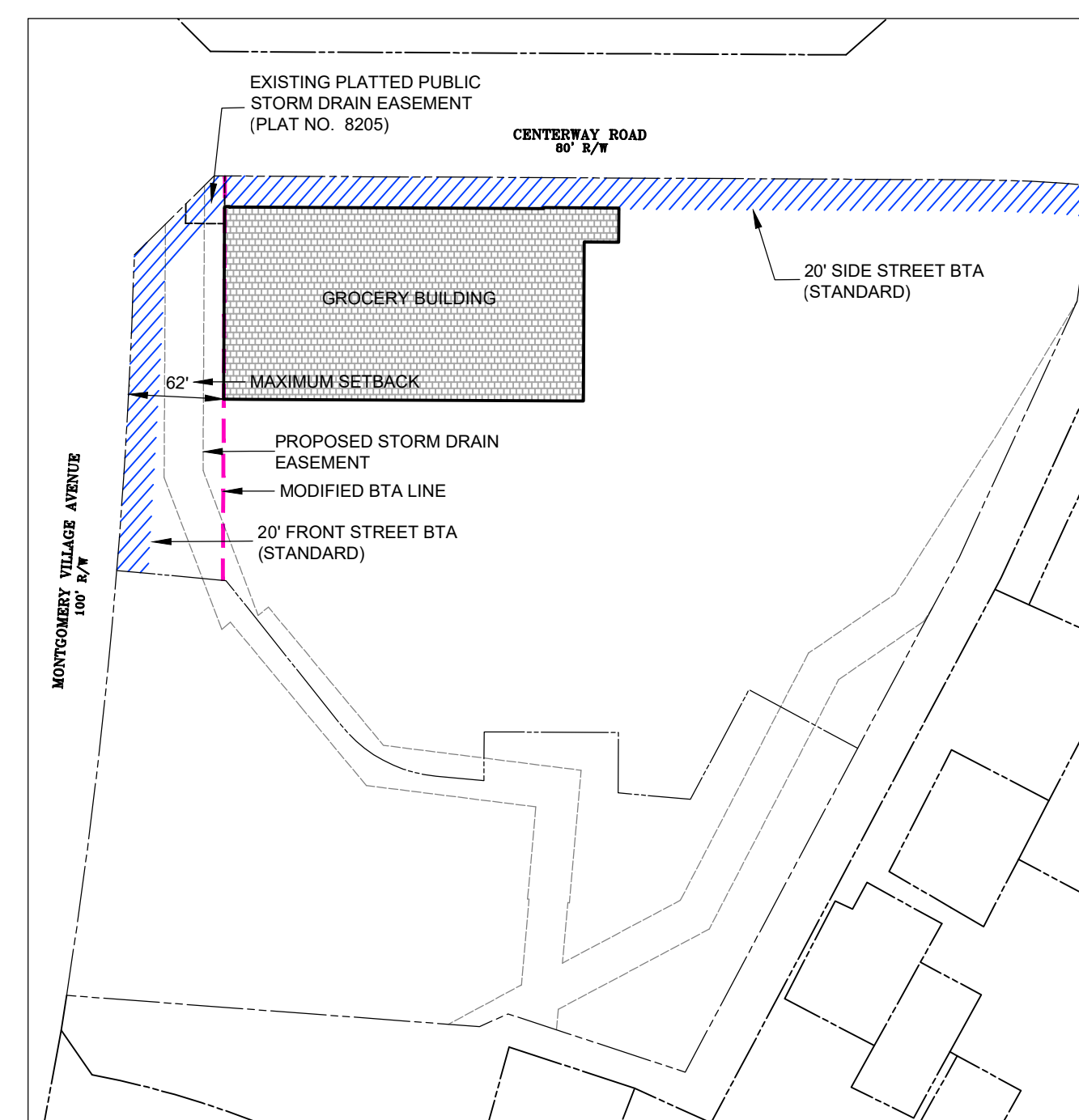
SHEET INDEX

- C0.01 COVER SHEET
- C0.02 RESOLUTION SHEET
- C2.01 SITE PLAN DRAWING
- L1.01 FINAL FOREST CONSERVATION PLAN
- L1.02 FINAL FOREST CONSERVATION DETAILS
- L2.01 LANDSCAPE PLAN
- L2.02 LANDSCAPE DETAILS
- L2.03 LANDSCAPE DETAILS
- EL-1 SITE LIGHTING PLAN - PHOTOMETRIC CALCULATIONS
- EL-2 SITE LIGHTING PLAN - FIXTURE LOCATIONS
- EL-5 SITE LIGHTING PLAN - FIXTURE DETAILS
- A-200 BUILDING ELEVATIONS
- A-201 WASTE ENCLOSURE ELEVATIONS

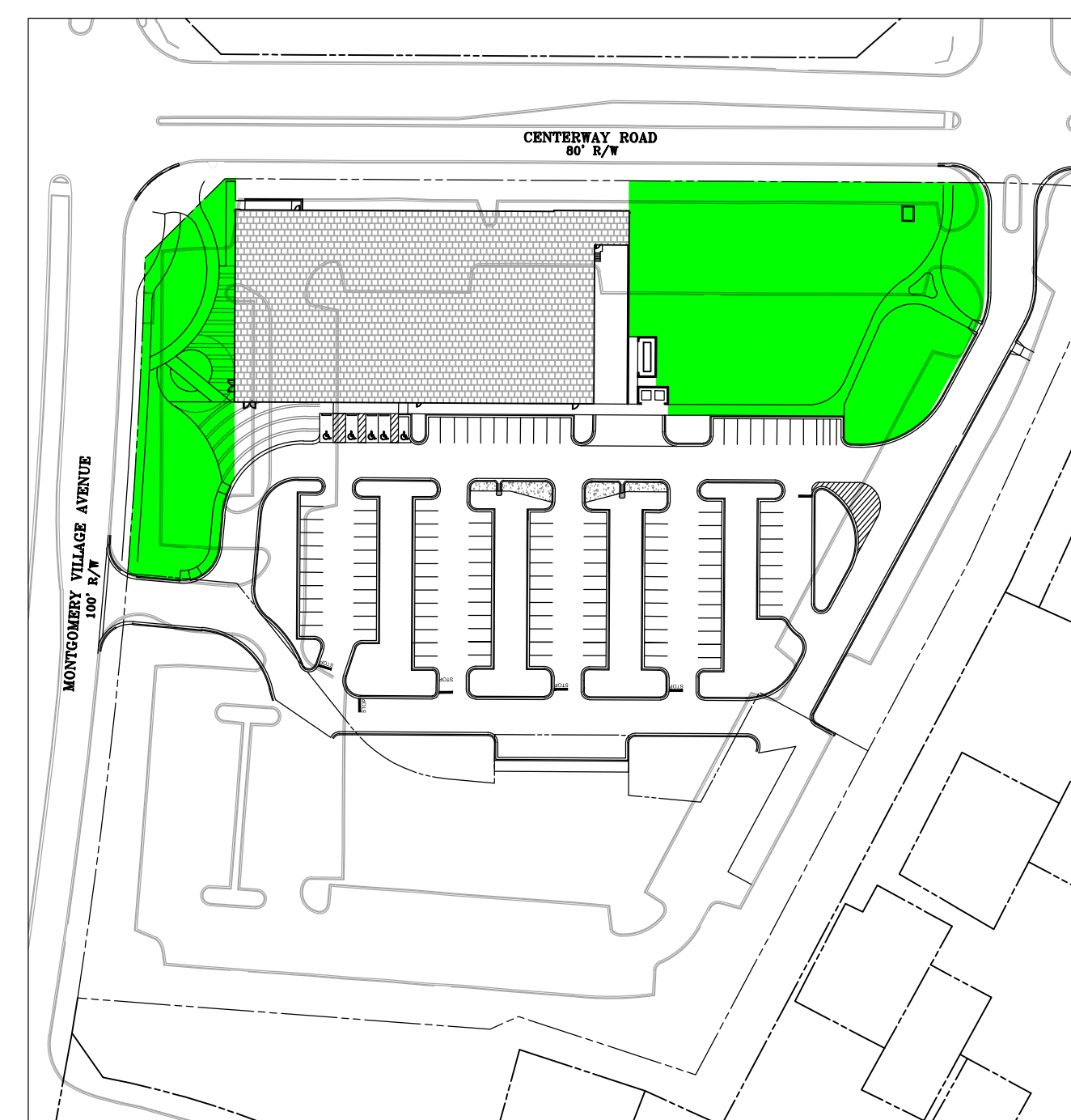
CRT-1.25 C-1.0 R-1.0 H-75 ZONE & MONTGOMERY VILLAGE OVERLAY DEVELOPMENT STANDARDS (STANDARD METHOD OF DEVELOPMENT, FAR-1.0)

	PERMITTED/REQUIRED	PROVIDED PER SITE PLAN 820200030
MINIMUM PUBLIC OPEN SPACE (TRACT >10,000 SF): 59.4.5.3.C.1	10.0% (19,198 SF)	24.4% (46,796 S.F.)
MINIMUM LOT AREA 59.4.5.3.C.2	NA	191,984 SF (4.4074 AC)
MAXIMUM TOTAL DENSITY (FAR) - STANDARD METHOD 59.4.5.3.C.2	1.00 (191,984 SF)	0.16 (30,000 SF)
MAXIMUM LOT COVERAGE 59.4.5.3.C.2	NA	15.6%
MINIMUM FRONT SETBACK 59.4.5.3.C.3	0 FT.	57 FT
MINIMUM SIDE STREET SETBACK 59.4.5.3.C.3	0 FT.	19 FT
MINIMUM SIDE SETBACK, ABUTTING NON-RESIDENTIAL 59.4.5.3.C.3 / 59.4.1.8.A	0 FT.	115 FT
MINIMUM REAR SETBACK, ABUTTING RESIDENTIAL(R-90) 59.4.5.3.C.3 / 59.4.1.8.A	37.5 FT.	260 FT
MINIMUM FRONT SETBACK, PARKING 59.4.5.3.C.3	BEHIND FRONT BUILDING LINE IN THE BTA	ALL PARKING IS LOCATED BEHIND FRONT BUILDING LINE IN BTA
MINIMUM SIDE STREET SETBACK, PARKING 59.4.5.3.C.3	BEHIND SIDE STREET BUILDING LINE IN THE BTA	ALL PARKING IS LOCATED BEHIND SIDE STREET BUILDING LINE IN BTA
MINIMUM SIDE SETBACK, PARKING 59.4.5.3.C.3	10 FT. TO ACCOMMODATE LANDSCAPING UNDER 59-6.2.9	NA ¹
MINIMUM REAR SETBACK, PARKING 59.4.5.3.C.3	10 FT. TO ACCOMMODATE LANDSCAPING UNDER 59-6.2.9	89 FT
BUILD TO AREA (BTA) MIN FACADE IN BTA FRONT SETBACK 59.4.5.3.C.3	70% (20 FT. OR AS MODIFIED)	100% (MODIFIED TO 62 FT.) ²
BUILD TO AREA (BTA) MIN. FACADE IN BTA SIDE STREET SETBACK 59.4.5.3.C.3	35% (20 FT. OR AS MODIFIED)	100%
MAXIMUM BUILDING HEIGHT, PRINCIPAL BUILDING 59.4.5.3.C.4	75 FT.	25 FT
MINIMUM BUILDING TRANSPARENCY, GROUND STORY FRONT 59.4.5.3.C.5	40%	40% ³
MINIMUM BUILDING TRANSPARENCY, GROUND STORY SIDEREAR 59.4.5.3.C.5	25%	25% ³
MAXIMUM BLANK WALL 59.4.5.3.C.5	35 FT.	35 FT. ³
PARKING LOT INTERNAL LANDSCAPED AREA 59-6.2.9.C.1	5%	26% ⁴
PARKING LOT TREE CANOPY 59-6.2.9.C.2	25%	45% ⁴
PARKING LOT PERIMETER PLANTING WIDTH, ABUTTING RESIDENTIAL 59-6.2.9.C.3	10 FT.	24 FT. ⁴
VEHICLE PARKING REQUIREMENTS (WITHIN REDUCED PARKING AREA) 59-6.2.4.B	100 SPACES MINIMUM (0.5 PER 1,000 SF) 180 SPACES MAXIMUM (6 PER 1,000 SF)	138 SPACES ⁵ (SEE BREAKDOWN BELOW)
MINIMUM NUMBER OF ACCESSIBLE SPACES: 59.6.2.3.B / COMAR 05.02.02	5 SPACES	5 SPACES
MOTORCYCLE/SCOOTER SPACES: 59.6.2.3.C	3 SPACES	4 SPACES
CAR-SHARE SPACES: 59.6.2.3.D	1 SPACE	1 SPACE
ELECTRIC VEHICLE CHARGING SPACES (FUTURE): 59.6.2.3.E	2 SPACES	2 SPACES
PARKING PROVIDED BREAKDOWN		
STANDARD ACCESSIBLE		126 SPACES
MOTORCYCLE/SCOOTER		5 SPACE
CAR-SHARE		4 SPACES
ELECTRIC VEHICLE CHARGING		1 SPACE
		2 SPACES
MINIMUM BICYCLE PARKING SPACES REQUIRED 59-6.2.4.C	3 SPACES (1 LONG TERM) (1.0 PER 10,000 SF)	5 SPACES (1 LONG TERM)
MINIMUM NUMBER OF LOADING SPACES 59-6.2.9.B	1 SPACE	1 SPACE

- FOOTNOTES:**
- PER 59-6.2.9.C.3.B.iv NO PERIMETER PLANTING IS REQUIRED ALONG THE SIDE PROPERTY LINE SINCE THE PROPERTY WILL ABUT ANOTHER PARKING LOT.
 - IN ACCORDANCE WITH 59-4.5.3.C.a THE BUILD TO AREA MAXIMUM FRONT SETBACK ALONG THE NORTH PORTION OF MONTGOMERY VILLAGE AVENUE IS INCREASED TO ACCOMMODATE AN EXISTING PUBLIC STORM DRAIN EASEMENT SHOWN ON PLAT 8008.
 - SEE ARCHITECTURAL ELEVATIONS. IN ACCORDANCE WITH 59-4.5.3.C.5.a THE APPLICANT SEEKS RELIEF FROM THE TRANSPARENCY REQUIREMENTS FOR THE BUILDING WALL ADJACENT TO THE LOADING DOCK.
 - SEE LANDSCAPE PLANS.
 - NUMBER OF PARKING SPACES PROVIDED ARE THOSE SHOWN ON PROPOSED LOT 36 ONLY. THE ADDITIONAL PARKING AREA SHOWN ON PROPOSED LOT 37 WILL BE CONSTRUCTED ALONG WITH THIS SITE PLAN, BUT NOT STRIPPED UNTIL THE FINAL SITE PLAN FOR LOT 37.



BUILD TO AREA (BTA) DIAGRAM - PERCENT OF FACADE IN BTA
MODIFIED FRONT STREET = 100%
20' SIDE STREET = 100%



PUBLIC OPEN SPACE DIAGRAM
TOTAL OPEN SPACE = 46,796 SF

DEVELOPER'S CERTIFICATE

THE UNDERSIGNED AGREES TO EXECUTE ALL THE FEATURES OF SITE PLAN APPROVAL NO. 820200030 INCLUDING APPROVAL CONDITIONS, DEVELOPMENT PROGRAM, AND CERTIFIED SITE PLAN.

DEVELOPER: LIDL US, LLC COMPANY CONNOR BEVANS CONTACT PERSON
ADDRESS: 3500 S CLARK STREET, ARLINGTON, VA 22202
PHONE: (703) 424-8741
EMAIL: CONNOR.BEVANS@LIDL.US
SIGNATURE: _____

REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP F141 WSSC 226N10

PLATS 9651 & 9993

9TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

**PARCEL 3C, LOT 27, &
LOTS 29-35
WHETSTONE
PROFESSIONAL CENTER**

PROJ. MGR PGL

DRAWN BY PGL

SCALE 1"=30'

DATE 11.19.2019

**SITE PLAN
COVER SHEET**

C0.01

PROJECT NO. 18.291.11

SHEET NO. 1 OF 1