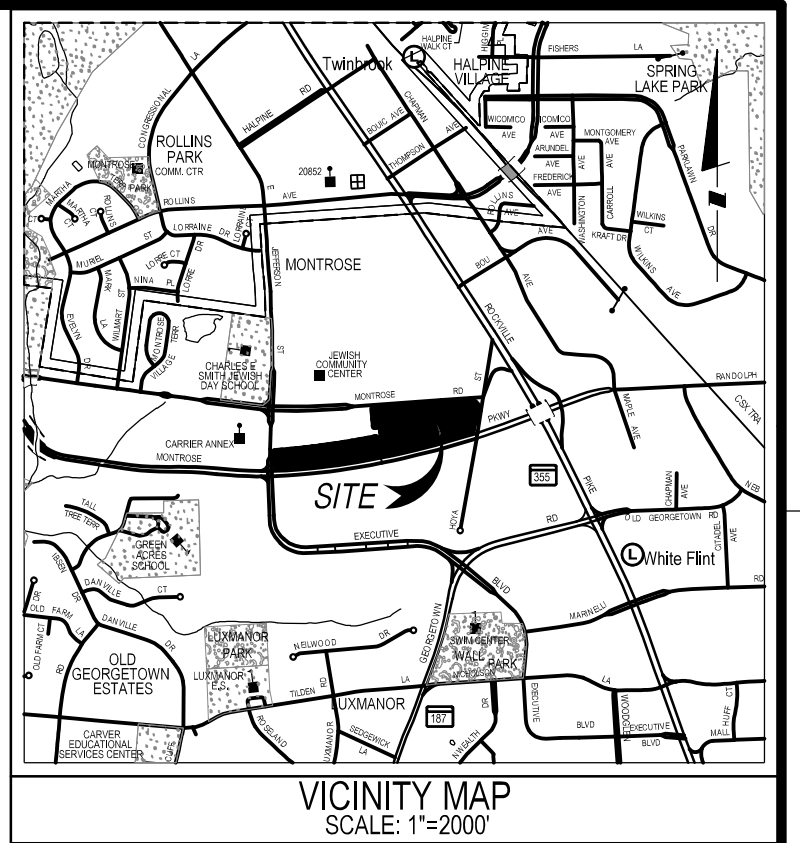


SITE PLAN 820210080 NORTHPARK AT MONTROSE - PHASE 1

ROCKVILLE (4TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND



PLANNING DEPARTMENT USE ONLY (E-PLANS)

GENERAL NOTES

- Boundary information provided by Soltesz.
- Grid coordinates are per Maryland State Plane datum (NAD 83/91).
- Two-foot contour interval topography provided by Soltesz.
- The subject property is located within Tax Map GQ562.
- Soil type on site is 2B (Glenelg), 400 (Urban Land), and 6A (Baile). Soils information from NRCS Soil Data Mart (Accessed July 15, 2020).
- There is no floodplain on site. (MCATLAS and FEMA FIRM map panel 0327D Map # 24031C0327D).
- The site lies within the boundary of the 2018 White Flint 2 Sector Plan.
- The site is located within the Cabin John Creek Watershed.
- Natural Resource Inventory/Forest Stand Delineation MNCPPC File No. 420182300, approved July 09, 2018.
- The subject property is within water and sewer category one.
- No Historical Features exist on or adjacent to subject property.
- Existing zoning: CR-2.0, C-1.0, R-1.50, H-200; CR-2.0, C-0.25, R-1.75, H-75; CRN-0.75, C-0.0, R-0.75, H-50.
- Minor modifications to the limits of disturbance shown on the site plan within the public right-of-way for utility connections may be done during the review of the right-of-way permit drawings at the Department of Permitting Services.
- All utilities are conceptual and subject to change. See appropriate approved utility drawings for final locations.
- All pavement markings and signage are for reference only and will be finalized at ROW permit under Signing and Marking Plan.
- Final computations and information on lots, parcels, and areas are shown on the record plat.
- An on-site pre-construction meeting is required to be set up with the Department of Permitting Services (DPS), Zoning & Site Plan Enforcement Division before any building construction activity occurs on-site. The owner or their designee who has signature authority, and general contractor must attend the pre-construction meeting with the DPS Site Plan Enforcement inspector. A copy of the Certified Site Plan is required to be on-site at all times. To schedule a Site Plan inspection with DPS, Zoning & Site Plan Enforcement Division, please contact Greg Nichols, Manager at 240-777-6278.
- All sidewalks in public access easements and in public streets will be constructed with ADA compliant hardscape ramps and a minimum 5' width. ADA compliant covers for manholes/vaults will be provided to the stormdrain within sidewalk where applicable. A note (Note #18) has been added on the cover sheet of the site plan.
- The project will execute the TDM plan applicable to the respective portion of the site on each side of Stonehenge Drive.

SHEET INDEX

SITE PLAN

- S1.00 COVER SHEET
- S1.01 OVERALL SITE PLAN
- S1.02 SITE PLAN LAYOUT - 20 SCALE
- S1.03 SITE PLAN LAYOUT - 20 SCALE
- S1.04 SITE PLAN LAYOUT - 20 SCALE
- S1.05 SITE PLAN LAYOUT - 20 SCALE
- S1.06 SITE PLAN GRADING - 20 SCALE
- S1.07 SITE PLAN GRADING - 20 SCALE
- S1.08 SITE PLAN GRADING - 20 SCALE
- S1.09 SITE PLAN GRADING - 20 SCALE
- S1.10 WESTERN PARK - 10 SCALE
- S1.11 CENTRAL PARK - 10 SCALE
- S1.12 SITE PLAN DETAIL INSET - 10 SCALE
- S1.13 CROSS SECTIONS AND DETAILS
- S1.14 APPROVAL SHEET

LANDSCAPE AND LIGHTING PLAN

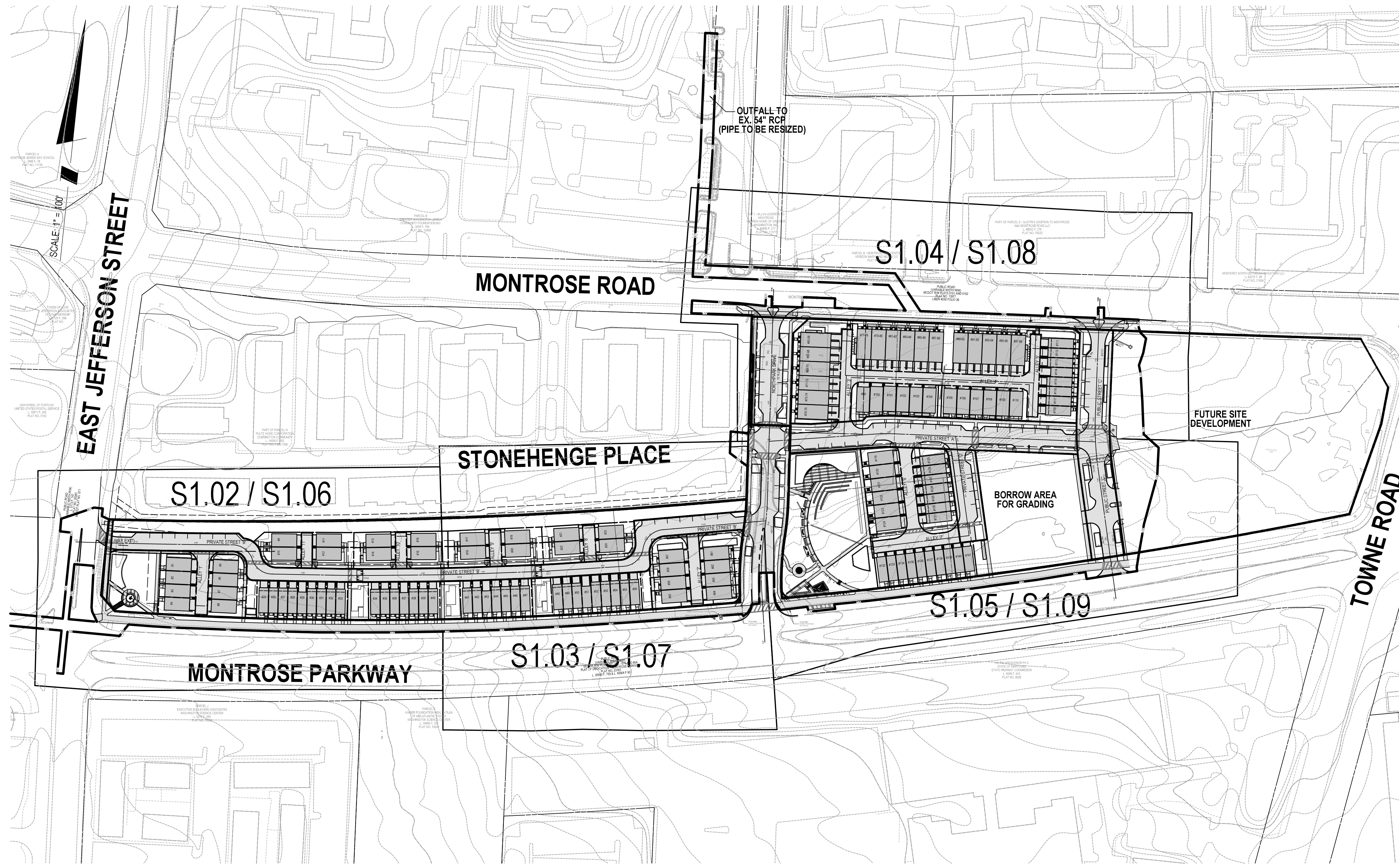
- L1.00 COVER SHEET
- L1.01 OVERALL LANDSCAPE PLAN - 80 SCALE
- L1.02 LANDSCAPE PLAN - 20 SCALE
- L1.03 LANDSCAPE PLAN - 20 SCALE
- L1.04 LANDSCAPE PLAN - 20 SCALE
- L1.05 LANDSCAPE PLAN - 20 SCALE
- L1.06 BUFFER PLAN - 30 SCALE
- L1.07 WESTERN PARK LANDSCAPE PLAN - 10 SCALE
- L1.08 WESTERN PARK LANDSCAPE PLAN - 10 SCALE
- L1.09 WESTERN PARK DETAILS
- L1.10 CENTRAL PARK LANDSCAPE PLAN - 10 SCALE
- L1.11 CENTRAL PARK LANDSCAPE PLAN - 10 SCALE
- L1.12 CENTRAL PARK AND SITE DETAILS
- L1.13 CENTRAL PARK AND SITE DETAILS
- L1.14 TYPICAL UNIT LANDSCAPE PLANS
- L1.15 LANDSCAPE SCHEDULE, PUBLIC BENEFIT POINTS AND RECREATION POINTS
- L1.16 LANDSCAPE NOTES AND DETAILS
- LT1.0 OVERALL LIGHTING PLAN - 80 SCALE
- LT1.1 LIGHTING PLAN - 20 SCALE
- LT1.2 LIGHTING PLAN - 20 SCALE
- LT1.3 LIGHTING PLAN - 20 SCALE
- LT1.4 LIGHTING PLAN - 20 SCALE
- LT1.5 LIGHTING NOTES AND DETAILS

ARCHITECTURAL PLAN

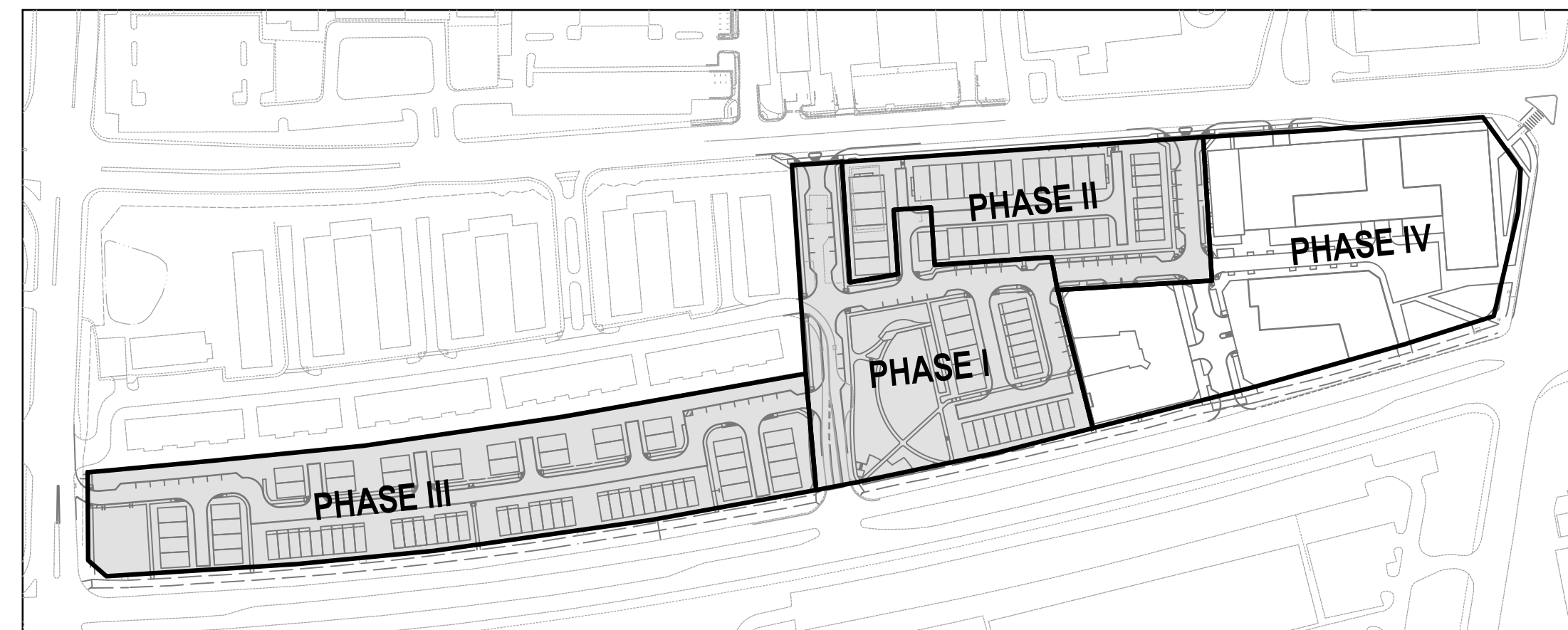
- A1.0 2 OVER 2 FRONT ELEVATIONS
- A1.1 2 OVER 2 SIDE ELEVATIONS
- A1.2 2 OVER 2 SIDE ELEVATIONS WITH UTILITY CLOSET
- A2.0 22' TOWNHOME FRONT ELEVATIONS
- A2.1 22' TOWNHOME SIDE ELEVATIONS
- A3.0 16' TOWNHOME FRONT ELEVATIONS
- A3.1 16' TOWNHOME SIDE ELEVATIONS

FINAL FOREST CONSERVATION PLAN

- F1.0 COVER SHEET
- F1.1 FOREST CONSERVATION PLAN - TREE/FOREST REMOVAL
- F1.2 FOREST CONSERVATION PLAN - TREE/FOREST REMOVAL
- F1.3 FOREST CONSERVATION PLAN - TREE/FOREST REMOVAL
- F1.4 FOREST CONSERVATION PLAN - TREE/FOREST REMOVAL
- F1.5 NOTES & DETAILS



APPROVED PRELIMINARY PLAN PHASING SCHEDULE - PHASE I SITE PLAN TO INCLUDE PHASES I, II, AND III



LOCATION SCALE

SCALE 1" = 100'

LOCATION SCALE

SCALE 1" = 200'

DEVELOPER
WILCO CONSTRUCTION CO., INC.
7811 MONTROSE ROAD, SUITE 200
POTOMAC, MD 20854
(240) 399-1421

CIVIL ENGINEER / LANDSCAPE ARCHITECT
SOLTESZ, INC.
2 RESEARCH PLACE, SUITE 100
ROCKVILLE, MD 20850
(301) 948-2750, (301) 948-9067 FAX

ATTORNEY
MILES & STOCKBRIDGE
11 N. WASHINGTON STREET, SUITE 700
ROCKVILLE, MD 20850
(301) 517-4812

BUILDER
TRI POINTE HOMES
12435 PARK POTOMAC AVENUE, SUITE 600
POTOMAC, MD 20854
(301) 802-4832

ARCHITECT
KGTG
8609 WESTWOOD CENTER DRIVE, SUITE 600
TYSONS, VA 22182
(703) 992-6116

DEVELOPER'S CERTIFICATE
The undersigned agrees to execute all the features of the Site Plan Approval No. 820210080, including Approval Conditions, Development Program, and Certified Site Plan.
Developer's Name: WILGUS/MONTROSE ASSOCIATES LLC
Contact Person: RICHARD COHEN
Address: 7811 MONTROSE ROAD, SUITE 200, POTOMAC, MD 20854
Phone: (240) 399-1500
Signature: _____

Northpark at Montrose Phase 1 Site Data Table		
Development Standards	Permitted/Required Zoning Ordinance	Proposed
Per Zoning ordinance in effect on October 29, 2014		
Zone 1	CR-2.0, C-1.0, R-1.50, H-200	CR-2.0, C-1.0, R-1.50, H-200
Zone 2	CR-2.0, C-0.25, R-1.75, H-75	CR-2.0, C-0.25, R-1.75, H-75
Zone 3	CRN-0.75, C-0.0, R-0.75, H-50	CRN-0.75, C-0.0, R-0.75, H-50
Gross Tract Area:		
Zone 1	N/A	9.42 ac / 410,253 sf
Zone 1, Phase 1		5.46 ac / 235,929 sf
Zone 1, Future Phases		4.03 ac / 175,327 sf
Zone 2	N/A	4.06 ac / 174,332 sf
Zone 3	N/A	3.22 ac / 140,438 sf
Total		16.64 ac / 725,023 sf (12.62 ac/549,796 sf. Is included in Phase 1)
Amount of Prior and Proposed Dedications for Master Planned Roadways Included in the Gross Tract Area		
Prior Dedication N231		100,890 s.f.
Prior Dedication N174		32,189 s.f.
Prior Dedication N270		12,064 s.f.
Prior Dedication N272		12 s.f.
Prior Dedication N205		18,789 s.f.
Proposed Dedication E. Jefferson		1,139 s.f.
Proposed Dedication Stonehenge		13,017 s.f.
Proposed Dedication Montrose Road (Future Phase)		4,452 s.f.
Proposed Dedication Towne Road (Future Phase)		1,375 s.f.
Total Master Planned Road Dedication		180,881 s.f. (4.15 acres)
Net Tract Area Entire Site:		544,142 s.f. (12.49 acres)
Net Tract Area Phase 1:		371,745 s.f. (8.53 acres)
Residential Density for Phase 1:	1,025,780 s.f. permitted for entire site	325,924 s.f. provided for this phase 1 plan (141 Total Units including 22 MPDU's: 34-2 over 2's and 107-Townhouses)
Unit Breakdown for Phase 1		
16' Townhouses		57 - 16' Townhouses
22' Townhouses		58 - 22' Townhouses
2 over 2 units		34 - 2 over 2's
Total		141 Units
Moderately Priced Dwelling Units (MPDU's):	15% of Total Units or Residential Square Footage	22 MPDU's: (5) townhouses and (17) 2 over 2 units (15.6% of current development)
Maximum Building Height: (59.4.5.4)	Zone 1: 200' max Zone 2: 75' max Zone 3: 50' max	75' Max. Townhouses and 2 over 2's 75' Max. Townhouses and 2 over 2's 50' Max. Townhouses
Open Space: (59.4.5.4.B)	Required Entire Site (Preliminary Plan) Reallocated for Phase 1 (Preliminary Plan): 105' / 54,450 s.f. (1.25 acres) Public Open Space (%): Central Public Park Western Park: 0.93 acres / 40,536 SF	0.96 acres 0.96 acres / 41,949 s.f. (common open space required by zone is approved as public use space per Preliminary Plan approval) 0.75 acres / 32,847 s.f. 0.21 acres / 9,302 s.f.
Lot Area: (59.4.5.C.2 - CRN, 59.4.5.4 - CR)	Townhouse: 800 s.f. (CRN)	940 s.f. (Townhouse), 1,300 s.f. (2-over-2 Multi-Family)
Lot Width at Front Building Line: (59.4.5.C.2-CRN, 59.4.5.4-CR)	Townhouse: 12' (CRN)	16' (Townhouse), 175.67' (2-over-2 Multi-Family)
Lot Width at Lot Line: (59.4.5.C.2 - CRN, 59.4.5.4 - CR)	Townhouse: NA	16' (Townhouse), 175.67' (2-over-2 Multi-Family)
Lot Coverage: (59.4.5.C.2-CRN, 59.4.5.4-CR)	Townhouse: NA (CRN) Set at Site Plan (CR)	90% max. (CRN), 90% max. (CR)
Setbacks and Placement: (59.4.5.3.B.3 and 59.4.5.3.C.3-CRN, 59.4.5.4-CR)	Principal Setbacks (min.): Front Setback: 5' (CRN) Set at Site Plan (CR) Side Street Setback: 5' (CRN) Set at Site Plan (CR) Side Setback End Unit: 2' (CRN) Set at Site Plan (CR) Side Setback between lot and site boundary: 4' (CRN) Set at Site Plan (CR) Side Setback abutting all other zones: 10' (CRN) Set at Site Plan (CR) Rear Setback, abutting all other zones: 4' (CRN) Set at Site Plan (CR) Rear Setback Alley: 4' (CRN) Set at Site Plan (CR) Rear Setback between lot and site boundary: 5' (CRN) Set at Site Plan (CR) Accessory Structure Setbacks (min.): Max. Front Setback: 15' (CRN) Set at Site Plan (CR) Building in front street (BTA) Massing: 70% (CRN) Set at Site Plan (CR)	5' (CRN), 5' (CR) 5' (CRN), 5' (CR) 5' (CRN), 5' (CR) 5' (CRN), 5' (CR) 5' (CRN), 5' (CR) 4' (CRN), 4' (CR) 4' (CRN), 4' (CR) 7' (CRN), 7' (CR)
Build-to Area: (59.4.5.3.C.3-CRN, 59.4.5.4-CR)	Max. Front Setback: 15' (CRN) Set at Site Plan (CR) Building in front street (BTA) Massing: 70% (CRN) Set at Site Plan (CR)	15' (CRN), 15' (CR) 70% (CRN), 70% (CR)
Form: (59.4.5.4.B.4-CRN, 59.4.5.4-CR)	Units permitted in a row: 12 (CRN) Set at Site Plan (CR)	10 (CRN), 11 (CR)
Building Orientation	Entrance facing street or open space: Required Entrance spacing (max) to townhouse and 2 over 2 multi-family: NA (CRN) Set at Site Plan (CR) Temporary for walls facing a street or open space: Comply	Comply 24' (CRN), 24' (CR)
Townhouse and 2 over 2 Multi-Family, Blank Wall, front (max): 35' (CRN) Set at Site Plan (CR) Townhouse and 2 over 2 Multi-Family, Blank Wall, side/rear (max): 35' (CRN) Set at Site Plan (CR)		Min. 35' (CRN), Min. 35' (CR) Min. 35' (CRN), Min. 35' (CR)
Parking Requirements: (59.6.2)	2 spaces per unit = 282 spaces required	141 x 2 = 282 spaces 18 spaces (will provide parking for all phases of project) 37 spaces 337 spaces
Residential (Private spaces per unit): 8 x 21' Residential (Public Street spaces): 8 x 21' Residential (ADA spaces): 8 x 21'		18 spaces (will provide parking for all phases of project) 37 spaces 337 spaces
Bicycle Parking: (59.6.2.4.C) and (59.6.2.6) 0.35 bicycle spaces per Multi-Unit DU (up to 100) 95% of spaces for long-term use	12 spaces for (34 units) 12 spaces	Garage parking in all 34 units capable of bicycle storage 24 short term spaces (20 short term spaces in Central Park and 4 short term spaces in Western Park)

SOLTESZ, INC.
Rockville Office
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.soltesz.com

NO.	DATE	REVISIONS	BY	DATE
DESIGNED: JDS/KOL	MARCH 2021	CAO STANDARDS VERSION: 19 - NCS	TECHNICIAN: JW/DC	CHECKED: TJS

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY ENGINEERING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-261-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THE PLAN.

OWNER/DEVELOPER/APPLICANT
WILGUS/MONTROSE ASSOCIATES LLC
7811 MONTROSE ROAD
SUITE 200
POTOMAC, MD 20854
PHONE: (240) 399-1500
ROCKING@WILCO.COM
RICHARD COHEN

MAP: ADC	GRID: 5285
TAX MAP: G0562	ZONING CATEGORY: CR-2.0, C-1.0, R-1.50, H-200
WBCS 2007 SHEET: 215 NW 06	CRN: CR-2.0, C-0.25, R-1.75, H-75; CRN-0.75, C-0.0, R-0.75, H-50
SITE DATUM: HORIZONTAL - NAD83	VERTICAL - NAD83

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 30287 EXPIRATION DATE: 05/18/2022

COVER SHEET

**SITE PLAN 820210080
NORTHPARK AT MONTROSE
(FORMERLY WILGUS TRACT)**

ROCKVILLE (4TH) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

PROJECT NO. 1325-02-01

SHEET 1.00