

CENTURY CERTIFIED SITE PLAN AMENDMENT #82003007F



PROFESSIONAL CERTIFICATION
I hereby certify that the attached site plan was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28854, Expiration Date: 12/31/23.

CENTURY
Site Plan Amendment F
#82003007F
Cloverleaf Center, Parcels Z & AA
Montgomery County, Maryland, Clarksburg Election District 2

DATE	DESCRIPTION
2023.03.27	MANORIC - Initial Submission
2023.03.27	MANORIC - In-Town Submission
2023.03.11	MANORIC - Final DRC Submission
2023.03.31	MANORIC - Final DRC Submission

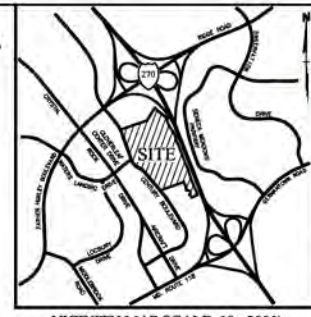
REVISION	NO.	DATE	DESCRIPTION

Developer's Certificate
This document represents the contents of the application for this Plan Approval No. 2023007F, including Approval Conditions, Development Program, and Certified Site Plan.

PROJECT NUMBER: 1252A
DATE: 2023.05.22
SCALE: 1" = 200'

DRAWING TITLE: Cover Sheet

DRAWING NUMBER: SP-01



VICINITY MAP SCALE: 1" = 2000'

AMENDMENT DESCRIPTION
1. The proposed amendment is a redesign of the area located at Cloverleaf Center subdivisions lots 2, 3, & 4, Block A - for newly proposed buildings D, E, G, & H and future CLCC pad site.

Sheets revised under this Amendment
Sheets added under this Amendment

Site Plan Sheet Index

- SP-01 Cover Sheet
- SP-02 Approval Conditions
- SP-02A Approval Conditions
- SP-02B Approval Conditions
- SP-02C Approval Conditions
- SP-02D Approval Conditions
- SP-02E Approval Conditions
- SP-02F Approval Conditions
- SP-02G Approval Conditions
- SP-02H Approval Conditions
- SP-03A Notes & Computations
- SP-03B Notes & Computations
- SP-03C Development Exhibit
- SP-04 Details
- SP-04A Details
- SP-04B Details
- SP-05 Overall Site Plan
- SP-06 Site Plan
- SP-07 Site Plan
- SP-08 Site Plan
- SP-09 Site Plan
- SP-10 Site Plan
- SP-11 Site Plan

Landscape & Lighting Plans

- L-01 Landscape Plan
- L-02 Landscape Plan
- L-03 Landscape Plan
- L-04 Landscape Plan
- L-04.1 Landscape Plan
- L-05 Landscape Plan
- L-06 Landscape Plan
- L-06.1 Landscape Plan
- L-07 Landscape Plan
- L-08 Landscape Plan
- L-09 Landscape Plan
- L-10 Landscape Plan
- L-11 Landscape Plan
- L-12 Landscape Plan
- L-13A Landscape Details
- L-13B Landscape Details
- L-13C Landscape Details
- L-14 Landscape Details
- L-15 Landscape Details
- L-16 Landscape Details
- L-17 Landscape Details
- L-18 Landscape Details
- L-19 Landscape Details
- L-20 Lighting Plan
- L-21 Lighting Plan
- L-22 Lighting Plan

Forest Conservation Plans

- FCP-01 Overall Forest Conservation Plan
- FCP-02 Forest Conservation Plan
- FCP-03 Forest Conservation Plan
- FCP-04 Beam Planting
- FCP-05 Forest Conservation Det

Architectural Plans

- A-01 Architectural Plan
- A-02 Architectural Plan
- A-03 Architectural Plan
- A-04 Architectural Plan
- A-05 Architectural Plan
- A-06 Architectural Plan
- A-07 Architectural Plan
- A-08 Architectural Plan
- A-09 Architectural Plan
- A-10 Architectural Plan
- A-11 Architectural Plan
- A-12 Architectural Plan
- A-13 Architectural Plan
- A-14 Architectural Plan
- A-15 Architectural Plan

Amendment Architectural Plans

Hotel - Building D/E

- A-2.1 Elevations
- A-2.2 Elevations
- A-2.3 Elevations
- A-3.1 First Floor Plan
- A-3.4 Typical Floor Plan
- A-3.5 Roof Plan

Residential - Building G

- A-2.1 Elevations
- A-3.1 Basement Floor Plan
- A-3.2 First Floor Plan
- A-3.3 2nd Floor Plan
- A-3.4 3rd - 4th Floor Plan
- A-3.5 5th - 6th Floor Plan
- A-3.6 Roof Plan

Residential - Building H

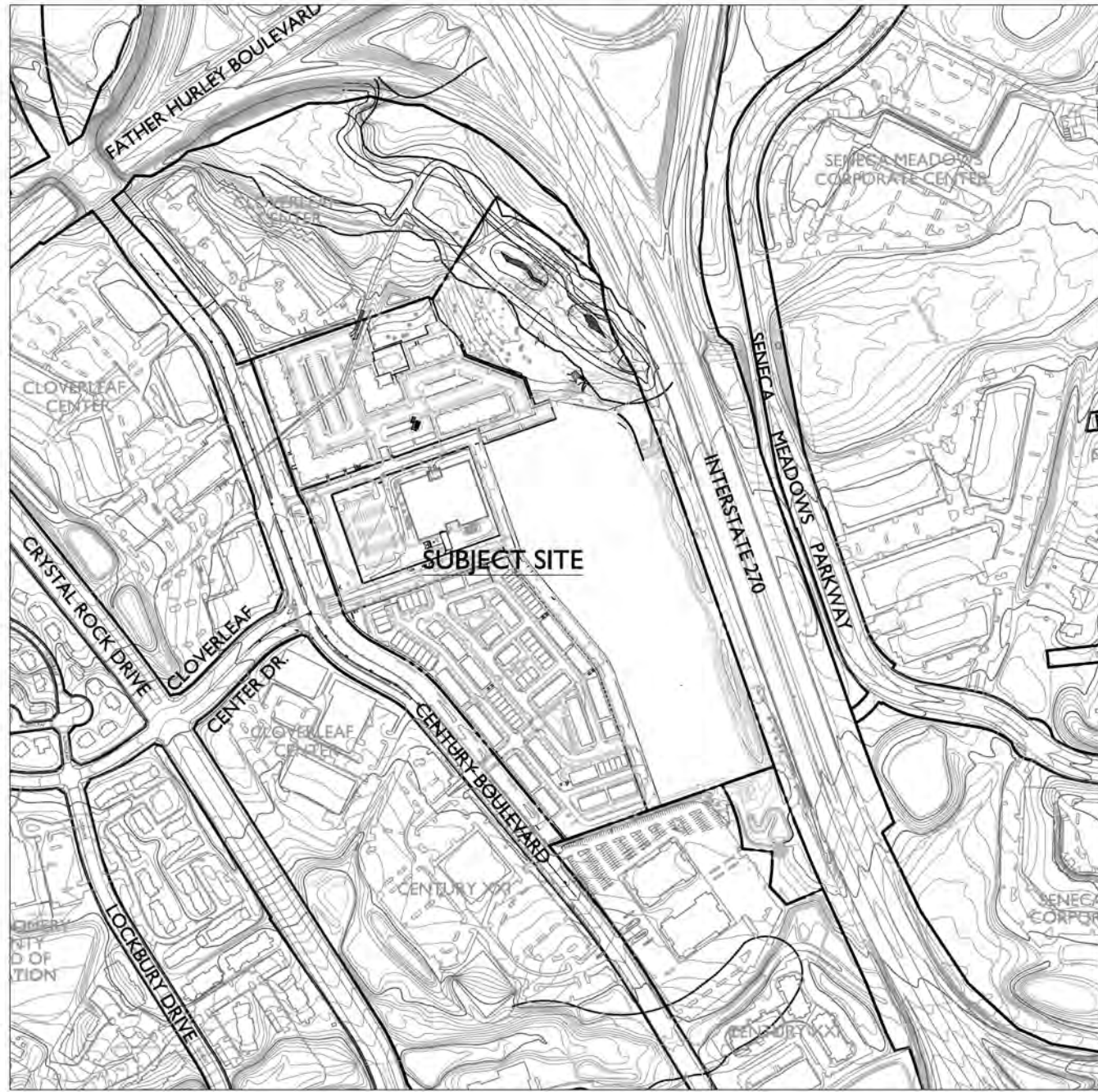
- A-2.1 Elevations
- A-3.1 Basement Floor Plan
- A-3.2 First Floor Plan
- A-3.3 2nd Floor Plan
- A-3.4 3rd - 4th Floor Plan
- A-3.5 5th - 6th Floor Plan
- A-3.6 Roof Plan

Fire Access Plan

- FDA-01 Fire Access Plan
- FDA-02 Fire Access Plan
- FDA-03 Fire Access Plan
- FDA-04 Fire Access Plan
- FDA-05 Fire Access Plan

Support Exhibit

- EXB-01 Canopy Coverage
- EXB-02 Signage Plan
- UTIL-01 Color Coded Utility Plan



LEGEND (Typical All Sheets)

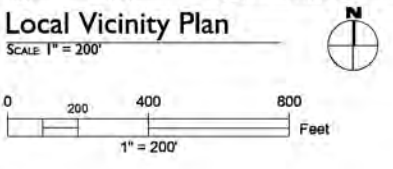
PROPOSED

- PROPOSED BUILDING
- PROPOSED CONTOURS
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF PARKWAY
- PROPOSED STORMWATER MANAGEMENT
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- PROPOSED CABLE TV
- PROPOSED GAS LINE
- PROPOSED TELEPHONE
- PROPOSED FIBER OPTIC
- PROPOSED ELECTRIC
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED 4' X 8' X 7' ELECTRIC SWITCH VAULT
- PROPOSED 4' X 4' X 7' ELECTRIC VAULT
- PROPOSED NO ELECTRIC JUNCTION
- PROPOSED NO TRANSFORMER
- PROPOSED HD TRANSFORMER
- PROPOSED SECONDARY ELECTRIC FEEDAL
- PROPOSED ELECTRIC METER
- PROPOSED TAP HOLE
- PROPOSED SWH MANHOLE
- PROPOSED SEWER MANHOLE
- PROPOSED WATER VALVE
- PROPOSED SANW CONNECTION
- PROPOSED FIRE HYDRANT
- PROPOSED FANING
- PROPOSED BRICK PAVING
- PROPOSED PLANTING PTS
- PEDESTRIAN ENTRANCE
- PROPOSED STREET LIGHTS
- PLANTING AREA
- PROPOSED LANDSCAPE LIGHTING
- PROPOSED BENCH
- PROPOSED WASTE RECEPTACLE
- PROPOSED SWH BUCKET BOX (TYP)
- PROPOSED RAIL ACCESS SIGN

EXISTING

- BOUNDARY LINE
- RAIL DESIGNATION
- EXISTING CONTOURS
- EXISTING TREE LINE
- EXISTING BUILDING
- EXISTING CURB & GUTTER
- EXISTING EDGE OF PARKWAY
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING CABLE TV
- EXISTING GAS
- EXISTING TELEPHONE
- EXISTING ELECTRIC
- EXISTING TRAFFIC SIGNAL
- EXISTING OVERHEAD ELECTRIC
- EXISTING TRAFFIC SIGNAL
- EXISTING UTILITY POLE
- EXISTING RECO POLE
- EXISTING GUY WIRE
- EXISTING LAMP POST
- EXISTING LIGHT POLE
- EXISTING ELECTRIC ACCESS PANEL
- EXISTING ELECTRIC MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING WATER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING TELEPHONE VAULT
- EXISTING ELECTRIC VAULT
- EXISTING REFR OPTIC
- EXISTING PLANTING PTS
- EXISTING STORM DRAIN STRUCTURE
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING CLEANOUT

- LIST OF AMENDMENT ITEMS:
- RE-DESIGNED AREA 1C, LOCATED AT CLOVERLEAF CENTER SUBDIVISION LOTS 2, 3, & 4, BLOCK A - FOR NEWLY PROPOSED BUILDINGS D, E, G, & H AND FUTURE CLCC PAD SITE.
 - ADDED NEW SHEET PER AMENDMENT
 - NO SHEET CHANGE
 - REVISED DEVELOPMENT PROGRAM AND BUILDING USES
 - REVISED DEVELOPMENT DATA TABLE AND/OR NOTES
 - RE-SUBDIVISION OF LOTS
 - REVISED ARCHITECTURE
 - REVISED LANDSCAPE / LIGHTING LAYOUT AND ASSOCIATED PLANTING SCHEDULES.
 - REVISED UTILITY / WATER & SEWER LAYOUT CONNECTION FOR EACH PROPOSED BUILDING.
 - REVISED SITE PLAN SHEET NUMBERS TO ACCOUNT FOR NEW SHEETS ADDED PER AMENDMENT.
 - REVISED SHEET MATCH LINES PER REVISED LAYOUT.
 - REVISED AMENITY AND PROGRAMMED SPACES AROUND NEW PROPOSED BUILDINGS.
 - REVISED DEVELOPMENT PHASING.
 - ADD / REMOVED DETAILS PER PROPOSED AMENDMENT.



Developer's Certificate
This document represents the contents of the application for this Plan Approval No. 2023007F, including Approval Conditions, Development Program, and Certified Site Plan.

Designer: Robert Graham
Date: 2023.05.22
Address: 4495 Montgomery Road, Ellicott City, MD 21043
Phone: (410) 802-9077
Signature: Robert Graham