

PRELIMINARY PLAN LEGEND

OPEN SPACE AREA	
DEDICATION AREA	

DEVELOPMENT STANDARDS (R-60 ZONE)	Permitted / Required	Provided
Lot Area		
Total Tract	NA	142,995 sf or 3.28 Acres
Density		
Maximum Residential Density (DUA/acre)	7.26	--
Maximum Number of Dwelling Units	23.8	--
MFDU Bonus (35% for 25% MFDU)	8.3	--
Maximum Number of Dwelling Units (w/ MFDU Bonus)	32	30
Existing Dwelling Units	--	11
New Dwelling Units	21	19*
Minimum MFDU (%)	12.5%	25%
Minimum MFDU (Based on # of New DU)	3	5
Open Space		
Common Open Space (%)	20%	21%
Common Open Space (Area)	28,599 SF or 0.66 Ac.	29,435 SF or 0.68 Ac.
Site Coverage		
Townhouse (% of Site Area minus area for detached house and duplex lots)	40%	35%
Single Family (each lot)		
Lot 7	60%	22%
Lot 8	60%	27%
Lot 9	60%	23%
Lot 10	60%	24%
Lot 11	60%	25%
Lot 12	60%	18%
Lot 13	60%	34%
Lot 14	60%	21%
Lot 15	60%	30%
Lot 16	60%	23%
Lot 17	60%	23%
Duplex (each lot)		
Lot 1	60%	60%
Lot 2	60%	37%
Lot 3	60%	39%
Lot 11	60%	37%
Lot 12	60%	54%
Lot 13	60%	38%
Lot 14	60%	30%
Building Height		
Building Height	40 Feet	40 Feet
Building Setbacks (linear feet)		
Front-Public Street	20 Feet	20 Feet
Front-Private Str./Open Space	10 Feet	N/A
Side Street-Adjoining Lot Fronts	20 Feet	20 Feet
Side Street-Adj. Lot Doesn't Front	15 Feet	N/A
Side - Lot 1	At Site Plan	0 or 3 Feet
Side-Abutting R-200	7 Feet	7+ Feet
Side-Abutting R-60	8 Feet	8+ Feet
Rear-Missing Middle Lots	At Site Plan	0 or 3 Feet (As Show n)
Rear-Lots 7-11, 13-17	At Site Plan	15 Feet
Rear - Lot 12	At Site Plan	12 Feet
Rear - Abutting RE-1	35 Feet	> 35 Feet
Rear - Abutting R-200	20 Feet	N/A
Rear - Abutting R-60	20 Feet	20 Feet
Vehicle Parking		
Minimum Parking (2 SP / DU)	38 Spaces	--
MFDU Reduction (0.5 * MFDU * 2 SP)	5 Spaces	--
Minimum Parking (w/ MFDU Reduction)	33 Spaces	33 Spaces
Garage Spaces		9 Spaces
Surface Spaces		22 Spaces
Motorcycle Spaces		1 Space
ADA Van Accessible		1 Space
Bicycle Parking		
Minimum Long-Term Spaces	0 Spaces	6 Spaces

* - Applicant reserves the right to add units in the future if triplexes and/or multiplexes are approved in the R-60 zone

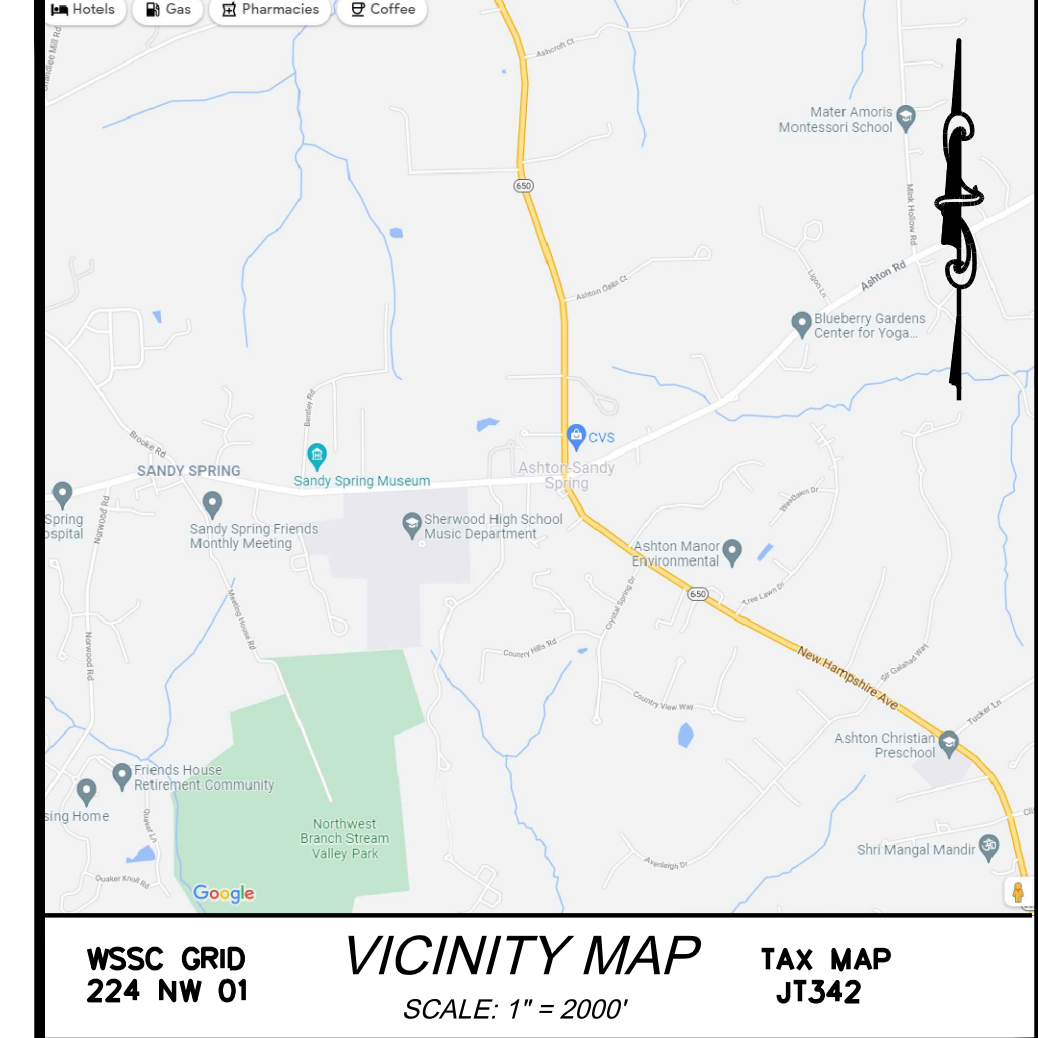
Notes:

- Requested Approval Method: Combined Preliminary/Site Plan Application R-60 MFDU Optional Method.
- Proposed Development:
 - Demolish 1 Single-living unit at 617 Olney-Sandy Spring Road.
 - Retain Eleven (11) Single-living houses as shown on the plan.
 - Construct nineteen (19) new dwellings as follows:
 - 12 duplex units,
 - 7 townhouse units, and
 - 900 +/- SF of community space.
- Proposed On-site recreation includes three (3) picnic/sitting areas and one (1) multi-use community space (900 SF)

MNCPPC PRE-CONSTRUCTION MEETING NOTE

AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED TO BE SET UP WITH THE MNCPPC INSPECTION STAFF BEFORE ANY DEMO, CLEARING, OR GRADING OCCURS ON-SITE. THE OWNER OR HIS DESIGNER WHO HAS SIGNATURE AUTHORITY, AND THE GENERAL CONTRACTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING WITH THE MNCPPC INSPECTOR. A COPY OF THE APPROVED CERTIFIED PRELIMINARY PLAN IS REQUIRED TO BE ON-SITE AT ALL TIMES. TO SCHEDULE AN INSPECTION WITH MNCPPC STAFF, PLEASE CONTACT JOSH KAYE AT 301-495-4722.

ENGINEER'S CERTIFICATION:	
I HEREBY CERTIFY THAT THE INFORMATION SHOWN IS TAKEN FROM MASER CONSULTING (BOUNDARY SURVEY DATED 07/01/2014), MNCPPC (GIS DATA DOWNLOAD ON 05/01/2020), AND AVAILABLE PLANS AND RECORDS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.	
NAME	SIGNATURE
AARON SMITH	_____
31196	_____
MARYLAND REGISTRATION NUMBER	DATE
(E) R.L.S. OR R.L.A. (CIRCLE)	_____



EXISTING CONDITIONS LEGEND

SIGN		AIR CONDITIONER	AC
STREET SIGN		BOTTOM OF CURB	BC
UTILITY POLE		BOTTOM OF STRUCTURE	BOT
LIGHT POLE		BOTTOM OF WALL	BW
HANDRAIL		CABLE/TV BOX	CATV
CHAIN LINK FENCE		DEPRESSED	DEP.
OVERHEAD WIRES		DIAMETER	DIA
WALL W/ FENCE		EDGE OF PAVEMENT	E.O.P.
CONCRETE PAD		ELECTRIC	ELEC.
TREE		FILL OF WATER	F.O.W.
PARKING SPACE COUNT		FILLED WITH DEBRIS	F.W.D.
VAULT		GRASS AREA	GRASS
CONTOUR		INVERT	INV
SPOT ELEVATION		MISCELLANEOUS	MSC
STORM PIPE		RIGHT OF WAY	R.O.W.
CABLE BOX		TOP OF CURB	TC
ELECTRIC MANHOLE		TOP OF BELL ON PIPE	TBP
WATER VALVE		TOP OF DEBRIS	TOD
TELE. BOX		TERRA COTTA PIPE	T.C.
MAIL BOX		TOP OF WALL	TW
		TYPICAL	(TYP.)
		UTILITY POLE	UP
		WATER VALVE	WV
		CONCRETE	CONC
		BUILDING RESTRICTION LINE	B.R.L.
		EASEMENT	P.U.E.
		PUBLIC UTILITIES EASEMENT	P.I.E.
		PUBLIC IMPROVEMENT EASEMENT	P.I.E.
		WATER & SEWER EASEMENT	W&SE
		STORM DRAIN EASEMENT	S.D.E.

SITE LEGEND

SWM FACILITY		PROPOSED WATER	—W—
PROPOSED BUILDING		PROPOSED SEWER	—S—
PROPOSED PROPERTY LINE		PROP. STORM DRAIN	—SD—
PROPOSED LOT LINE		PROP. STORM STRUCTURE	⊙ ○
LIMIT OF DISTURBANCE		PROP. RETAINING WALL	—RW—



CONSULTANTS

SANDY SPRING MISSING MIDDLE PILOT PROJECT

17901 SKYMEADOW WAY
SANDY SPRING, MD 20860

PLAN # 120220050

OWNER

HOUSING OPPORTUNITIES COMMISSION
10400 DETRICK AVENUE
KENSINGTON, MD 20895
CONTACT: JAY SHEPHERD, (240) 627-9437

MARK	DATE	DESCRIPTION
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PROJECT NO.	20-0166.002
SCALE:	1"=60'
DESIGNED BY:	ABS
DRAWN BY:	ASC
CHECKED BY:	ABS

PRELIMINARY PLAN

CS-101

SHEET --- OF ---

