

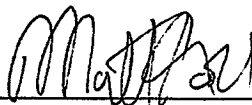
MONTGOMERY COUNTY PLANNING BOARD

AFFIDAVIT OF PRE-SUBMISSION PUBLIC MEETING

Sandy Spring Missing Middle Housing Pilot Project

Preliminary Plan and Site Plan Applications

I HEREBY CERTIFY that on December 21, 2021 at 7:00 pm, representatives of Housing Opportunities Commission/RAD 6 Development Corp., its consultants, and C. Robert Dalrymple and Matthew Gordon of Selzer Gurvitch, held a virtual Pre-Submission Public Meeting in order to discuss the upcoming preliminary plan and site plan applications for Sandy Spring Missing Middle Housing Pilot Project. The purpose of this meeting was to comply with Section 59.7.5.1 of the Zoning Ordinance and the Administrative Procedures for Development Review (as modified by M-NCPPC's COVID-19 guidelines allowing for virtual meetings), which require a Pre-Submittal Public Meeting to be held no more than 90 days prior to initial application submittal. The meeting was held by Zoom accessible through the following methods: (a) online, <https://us02web.zoom.us/j/88653392671?pwd=RjVXb1gwU0FFUFdPU21xK2JVM3Rndz09;> and/or (b) telephone, +1 (301) 715-8592, meeting ID: 88653392671, passcode: 289185, and the meeting invitation was mailed to all of the individuals included in the attached notice list.



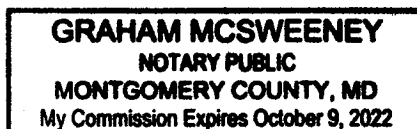
By: Matthew Gordon
Selzer Gurvitch Rabin Wertheimer & Polott, P.C., Attorney
for the Applicant, Churchill Senior Living

Subscribed and sworn to before me, a Notary Public for Montgomery County, Maryland, this 3rd day of February, 2022.



My Commission Expires:

10/9/22
[SEAL]





December 3, 2021

C. Robert Dalrymple, Esquire
bdalrymple@sgrwlaw.com
Direct Dial: 301-634-3148

FIRST CLASS MAIL
NOTICE OF PRE-SUBMISSION PUBLIC MEETING

Name of Plan: Sandy Spring Missing Middle Pilot Project
Applicant: Housing Opportunities Commission of Montgomery County and RAD6 Development Corporation
Current Zoning: R-60
Number of Proposed Lots/ Area Included: Resubdivision of one (1) lot and one (1) parcel for Missing Middle Housing and retention of, and incorporation of eleven (11) existing lots with single-family detached dwellings (approximately 3.27 acres of tract area) in order to create additional open space.
Geographical Location: 617 Olney Sandy Spring Road, 17901 Skymeadow Way, and Lots 7-17, Block A of the Sandy Spring Meadow Subdivision, comprising several properties with frontage on Olney Sandy Spring Road and Skymeadow Way, in the boundaries of the Sandy Spring Rural Village Master Plan (the "Property").
Proposed Applications: Preliminary Plan and Site Plan applications to redevelop the Property with up to nineteen (19) new residential dwelling units with a combination of duplex and townhouse units, including a minimum of 25% Moderately Priced Dwelling Units, or "MPDUs", retention of eleven (11) single-family detached dwellings, parking spaces, public open space, and private amenities under the MPDU Optional Method of Development (the "Project").

A virtual informational meeting regarding the above-referenced Project has been scheduled for **Tuesday, December 21, 2021 at 7:00 pm**. You are invited to join the virtual informational meeting by calling +1 301-715-8592 and entering the meeting ID 88653392671 and passcode 289185 or visiting the following website: <https://us02web.zoom.us/j/88653392671?pwd=RjVXb1gwU0FFUFdPU21xK2JVM3Rndz09>. A copy of the presentation (which is subject to additions, subtractions and changes as the entitlement process progresses) will be posted by Friday, December 17th, 2021 at the following website: <https://sgrwlaw.sharefile.com/d-s17def0edf00e4ae68d385d5038388f19>. If you intend to participate in the virtual informational meeting and/or would like to provide written comments and/or questions, please send an email that includes your name and mailing address (postal and electronic) to Graham McSweeney at gmcswweeney@sgrwlaw.com. We encourage you to submit questions and/or comments in advance of the virtual informational meeting so that the meeting can be substantive, effective and efficient.

The Property that is the subject of the Preliminary Plan and Site Plan applications consists of approximately 3.27 acres of tract area and is identified as 617 Olney Sandy Spring Road, 17901 Skymeadow Way, and Lots 7-17, Block A of the Sandy Spring Meadow Subdivision, comprising a portion of the Sandy Spring Meadow Subdivision with frontage on Olney Sandy Spring Road and Skymeadow Way. The Property is within the boundaries of the Sandy Spring Rural Village Master Plan.

Selzer Gurvitch Rabin Wertheimer & Polott, P.C.

4416 East West Highway • Fourth Floor • Bethesda, MD 20814-4568 Phone:

(301) 986-9600 • Fax: (301) 986-1301 • Toll Free: (888) 986-9600

www.selzergurvitch.com

This pre-submission community meeting is in follow-up to the prior virtual meeting held on April 27, 2021, regarding a Concept Plan application for the proposed Project.

A portion of the Property is part of a 14.22-acre parcel that received Montgomery County Planning Board (the "Planning Board") approval of Preliminary Plan No. 119821800 and Site Plan No. 819820920 in the early 1980's for a cluster development project in the R-60 zone. Concurrent with the processing of the Preliminary Plan and Site Plan applications for the Project, the Applicant will amend the original cluster development approvals for Sandy Spring Meadow to make technical adjustments and demonstrate that the remaining properties covered by the original cluster development approvals comply with all requirements in the Zoning Ordinance and Subdivision Regulations.

The Preliminary Plan and Site Plan applications propose to redevelop the Property with up to nineteen (19) new residential dwelling units with a combination of duplex and townhouse units, including a minimum of 25% Moderately Priced Dwelling Units, or "MPDUs", retention of eleven (11) single-family detached dwellings, parking spaces, public open space, and private amenities. The purpose of this virtual informational meeting is to preview the proposed Preliminary Plan and Site Plan applications, and the meeting will then be open to questions regarding the proposed Project.

If you are interested in receiving more information about the proposed Project, you may contact either C. Robert ("Bob") Dalrymple (301-634-3148; bdalrymple@sgrwlaw.com), Matthew Gordon (301-634-3150; mgordon@sgrwlaw.com), or Graham McSweeney (301-634-3177; gmcsweeney@sgrwlaw.com) of Selzer Gurvitch Rabin Wertheimer & Polott, P.C.

You may also contact the Maryland-National Capital Park and Planning Commission ("M-NCPPC") if you have general questions about M-NCPPC's process. The Information Counter may be reached at (301) 495-4610. The Development Applications and Regulatory Coordination Division may be reached at (301) 495-4550 or www.montgomeryplanning.org/development.

Thank you in advance for your interest and attention.

Very truly yours,

Selzer Gurvitch Rabin Wertheimer & Polott, P.C.

C. Robert Dalrymple

C. Robert Dalrymple

Matthew M. Gordon

Matthew M. Gordon

Notice List - Sandy Spring Missing Middle Housing Pilot Project
1/18/2022

Tax Account No.	Owner Name	Owner Name2	Owner Mailing Address	City	State	Zip	Block	Lot	Parcel
Subject Property									
08-00700254	Housing Opportunities Comm of Montgomery County		10400 Detrick Ave.	Kensington	MD	20895			P338
08-02331404	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895			B
08-02331472	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		7	
08-02331483	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		8	
08-02331494	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		9	
08-02331506	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		10	
08-02331517	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		11	
08-02331528	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		12	
08-02331530	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		13	
08-02343708	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		14	
08-02343710	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		15	
08-02343721	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		16	
08-02343732	RAD 6 Development Corporation		10400 Detrick Ave.	Kensington	MD	20895		17	
Adjoining and Confronting Properties									
08-03015441	Power Fuel and Transport Real Estate Holding Co MD LLC		PO Box 9492	Washington	DC	20016			N398
08-03669325	Kristen Nicole Dubea		513 Olney Sandy Spring Rd	Sandy Spring	MD	20860		1	N361
08-03440617	Richard Andre Bell & Antoinette Bell		600 Olney Sandy Spring Rd	Sandy Spring	MD	20860	A	3	
08-00703190	Linda Hembeck & Margarita Gomez		601 Olney Sandy Spring Rd	Sandy Spring	MD	20860			P362
08-02362143	Charles R & L M Steel		605 Olney Sandy Spring Rd	Sandy Spring	MD	20860			P363
08-03440606	Andrew R Dodge et al		606 Olney Sandy Spring Rd	Sandy Spring	MD	20860	A	2	
08-03440594	Kwadwo Buachie & Aretha Indira		608 Olney Sandy Spring Rd	Sandy Spring	MD	20860	A	1	
08-00704308	Brooke & Aimee Clime		609 Olney Sandy Spring Rd	Sandy Spring	MD	20860			P340
08-00719561	Vincent C. and Ticonia N. Fillah		613 Olney Sandy Spring Rd	Sandy Spring	MD	20860			P339
08-00705198	Brett A. Robison & Bailey J. Allard		616 Olney Sandy Spring Rd	Sandy Spring	MD	20860			P419
08-00713154	Norman E Michener		700 Olney Sandy Spring Rd	Sandy Spring	MD	20860			P420
08-00708454	Sandy Spring Monthly Meeting of Religious Society of Friends		17715 Meeting House Rd	Sandy Spring	MD	20860			P391
08-00711064	Ivan Caballero		708 Olney Sandy Spring Rd	Sandy Spring	MD	20860			P390
08-00720081	Mario Romero & German Argueta		12906 Autumn Dr	Silver Spring	MD	20904			P282
08-00706251	Yanira D. Vasquez		802 Olney Sandy Spring Rd	Sandy Spring	MD	20860			P389
08-00710140	Ghassem Shahrooz		9340 Relchs Ford Rd.	Ljamsville	MD	21754		1	N313
08-00718282	Firehouse Center LLC		18929 Premiere Ct	Gaithersburg	MD	20879			P369
08-03669336	Stone-Craft Development LLC		15605 Amelung Ln	Derwood	MD	20855		2	
08-03669347	Stone-Craft Development LLC		15605 Amelung Ln	Derwood	MD	20855		3	
08-03669358	Stone-Craft Development LLC		15605 Amelung Ln	Derwood	MD	20855		4	
08-00708807	New Era Investment Group Inc		256 Grange Hall Dr.	Gaithersburg	MD	20877			P260
08-02331415	Pedro J Fernandes		17921 Skymeadow Way	Sandy Spring	MD	20860	A	1	
08-02331426	Thomas P Clouse		17925 Skymeadow Way	Sandy Spring	MD	20860	A	2	
08-02331437	Gissel A Sonnebrot & Leonel D Melendez Espinoza		17929 Skymeadow Way	Sandy Spring	MD	20860	A	3	
08-03377435	Montgomery County et al		101 Monroe St. Fl 3	Rockville	MD	20850			N225
08-02331448	Ali Roshan & Chandra Baldeo		17933 Skymeadow Way	Sandy Spring	MD	20860	A	4	
08-02331450	Hien N. Tran		17937 Skymeadow Way	Sandy Spring	MD	20860	A	5	
08-01687915	Florence Danshes		913 Farm Haven Dr.	Rockville	MD	20852	A		P125
08-03674710	Orchards of Sandy Spring Homeowners Association Inc		c/o 11111 Sunset Hills Rd. Suite 200	Reston	VA	20190	A		Pt. C
08-00720068	New Era Investment Group Inc		256 Grange Hall Dr.	Gaithersburg	MD	20877			P281
08-03669360	Briggs-Bently Ridge LLC	c/o Gary Butson	2721 Briggs Chaney Rd.	Silver Spring	MD	20905			N397
08-00720057	New Era Investment Group Inc		256 Grange Hall Dr.	Gaithersburg	MD	20877			P315
08-00705212	New Era Investment Group Inc		256 Grange Hall Dr.	Gaithersburg	MD	20877			P334
08-00710151	Ghassem Shahrooz		9340 Relchs Ford Rd.	Ljamsville	MD	21754		2	N314
HOA/CA within a half-mile radius									
	Ashton Alliance	Kathleen Wheeler, President	17609 Country View Way	Ashton	MD	20861			
	Ashton Village Homeowners Association	Randy Nittoli, Owner	10 Orion Club Drive	Ashton	MD	20861			
	Ashton Village Homeowners Association	Ronald Godsey, Admin Agent	26223 Ridge Road	Damascus	MD	20872			
	Auburn Village HOA	Marcia Grove, IKO Community Mgmt Agent	3416 Olandwood Court	Olney	MD	20832			
	Auburn Village Homeowners Association	Andrew R. Dodge, President	606 Olney-Sandy Spring Road	Sandy Spring	MD	20860			
	Bancroft Community Association Inc	Harold Lowe, Owner	1510 Lake Norwood Way	Sandy Spring	MD	20860			
	East County Citizens Advisory Board	Rachel Evans, Chair	3300 Briggs Chaney Road	Silver Spring	MD	20904			
	Greater Ashton Community Association	Susan Berkheimer, Secretary	4805 Brightwood Circle	Olney	MD	20832			
	Meadowsweet Homeowners Association	Ravi Parkhie, Admin Agent	20440 Century Boulevard	Germantown	MD	20874			
	Meadowsweet Homeowners Association	Robert J. De Luca, Owner	1406 Meadowsweet Drive	Sandy Spring	MD	20860			
	Montgomery County Civic Federation	Alan Bowser, Co-President							
	Montgomery County Renters Alliance	William Roberts, Esq, Chair - Treasurer	P.O. Box 7773-7773	Silver Spring	MD	20907			

Notice List - Sandy Spring Missing Middle Housing Pilot Project
1/18/2022

Tax Account No.	Owner Name	Owner Name2	Owner Mailing Address	City	State	Zip	Block	Lot	Parcel
	Montgomery County Renters Alliance Inc.	Matthew Losak, Director	1001 Spring Street #316	Silver Spring	MD	20910			
	Montgomery County Taxpayers League	Edward Amatetti, President							
	Montgomery Preservation Inc	Eileen McGuckian, President	PO Box 4661	Rockville	MD	20849-4661			
	Montgomery Preservation Inc.	Judith Christensen, Director	6 Walker Avenue	Gaithersburg	MD	20877			
	Northern Montgomery County Alliance	Julius Cinque, Chair	22300 Slidell Road	Boysds	MD	20841			
	Olney Chamber of Commerce	Jon Hulsizer, Executive Director	P.O. Box 550	Olney	MD	20830			
	Olney Transportation Coalition	Louis Iaquina, Chairman	3416 Olandwood Court Suite 210	Olney	MD	20832			
	Sandy Spring Ashton Rural Preservation	Amy Medd, President	17818 Hidden Garden Lane	Ashton	MD	20861			
	Sandy Spring Civic Association	Basile Whittaker, Vice President	17413 Ashton Green Drive	Sandy Spring	MD	20860			
	Sandy Spring Civic Association	Christine Hill Wilson, Treasurer	18528 Brooke Road	Sandy Spring	MD	20860			
	Sandy Spring Civic Association	Dr. Daryl Thorne, President	18434 Brooke Road	Sandy Spring	MD				
	Sandy Spring Village Condominium	James Castagna, Owner	P.O. Box 11 (1045 Windrush Lane #4)	Sandy Spring	MD	20860			
	Sierra Club - Montgomery County Group	Jennifer Rossmere, Treasurer	P O Box 4024	Rockville	MD	20849			
	Springview Community Association	Andrew Righter, Vice President	17716 Hidden Garden Lane	Ashton	MD	20861			
	Springview Community Association	Heidi Oliver, Admin Agent	18401 Woodfield Road	Gaithersburg	MD	20879			
	Springview Community Association	Kimberly Hanger, Mgmt Contact	18401 Woodfield Road Suite H	Gaithersburg	MD	20879			
	Springview Community Association	Mark Hughes, Secretary	17514 Hidden Garden Lane	Ashton	MD	20861			
	Springview Community Association	Tim Sessing, Owner	17720 Hidden Garden Lane	Ashton	MD	20861			
	Thomas Village HOA	James Koss, Mgmt Contact	P.O. Box F	Kensington	MD	20895			
	Thomas Village HOA	Liz Tyree, Admin Agent	10400 Connecticut Ave	Kensington	MD	20895			
	Thomas Village HOA	Shuda Li, Owner	1028 Mutual Place	Sandy Spring	MD	20860			
	Wyndcrest Homeowners Association Inc	Debbie Loso, Admin Agent	18401 Woodfield Road Suite B	Gaithersburg	MD	20879			
	Wyndcrest Homeowners Association Inc	Susan Smith, Owner	17812 Hidden Garden Lane	Ashton	MD	20861			
Schools/Library									
	Sherwood Elementary School		1401 Olney-Sandy Spring Road	Sandy Spring	MD	20860			
	William H. Farquhar Middle School		17017 Batchellors Forest Road	Olney	MD	20832			
	Sherwood High School		300 Olney-Sandy Spring Road	Sandy Spring	MD	20860			
	Olney Library		3500 Olney-Laytonsville Road	Olney	MD	20832			
Development/Other									
	M-NCPPC	Intake, IRC	2425 Reddie Dr. 2nd Flr	Wheaton	MD	20902			
	C. Robert Dalrymple, Esq.	Selzer Gurvitch	4416 East West Highway 4th Flr	Bethesda	MD	20814			
	Matthew M. Gordon, Esq.	Selzer Gurvitch	4416 East West Highway 4th Flr	Bethesda	MD	20814			
	Dave Ager	Townscape Design	6030 Daybreak Circle Suite A150-109	Clarksville	MD	21029			
	Jay Shepherd	HOC	10400 Detrick Avenue	Kensington	MD	20895			

Sandy Spring Missing Middle Housing Pilot Project

Preliminary Plan and Site Plan Applications

Pre-Submission Community Meeting

Tuesday, December 21, 2021, 7:00 PM

Virtual meeting held via Zoom;

<https://us02web.zoom.us/j/88653392671?pwd=RjVXb1gwU0FFUFdPU21xK2JVM3Rndz09>

1 (301) 715-8592, meeting ID: 88653392671, passcode: 289185

MEETING MINUTES

Attendees on behalf of the Applicant:

Jay Shepherd, Housing Opportunities Commission/RAD 6 Development Corp.

Dave Ager, Townscape Design

Aaron Smith, A. Morton Thomas and Associates

Bob Dalrymple, Selzer Gurvitch

Matthew Gordon, Selzer Gurvitch

1) Applicant's presentation:

- The meeting was called to order at 7:05 pm and began with introductory remarks by Jay Shepherd of the Housing Opportunities Commission ("HOC") and RAD 6 Development Corp, which are, collectively, the Applicant and owner of the property. Mr. Shepherd described how HOC has been a long-term stakeholder in Sandy Spring since the early 1980s. In 2015, HOC converted the property under HUD's Rental Assistance Demonstration ("RAD") program with the goal of pursuing HOC's preferred mixed-income model. Today, HOC continues to invest in Sandy Spring through this pilot project and with valuable input from the community, hopes to form the design of the project into a cohesive architecture within the neighborhood. A terrific team has been assembled to perform the design and planning work, and the Applicant looks forward to the community's comments on the scale, density, and pedestrian access planned for the project.
- Mr. Dalrymple of Selzer Gurvitch outlined the applicant/development team, including Zachary Marks and Jay Shepherd of HOC, David Ager of Townscape Design, Aaron Smith of A. Morton Thomas and Associates, and Joseph Caloggero of The Traffic Group. Along with Mr. Dalrymple, Matthew Gordon and Graham McSweeney of Selzer Gurvitch are also assisting on this project.
- Mr. Dalrymple informed the audience that this is a required community meeting being held prior to the submission of a Preliminary Plan and Site Plan for proposed "Missing Middle" housing. The Missing Middle housing initiative being undertaken by the County aims to serve individuals that cannot afford market rate units, but also have income levels above the limits to qualify for Moderately Price Dwelling Units (MPDUs). The Preliminary Plan and Site Plan applications will be reviewed concurrently by the Montgomery County Planning Department staff and decided upon by the Montgomery County Planning Board. A prior virtual community meeting for the voluntary Concept Plan was held in April 2021. The purpose of this meeting is to provide information regarding the development process,

provide an overview of the property's development plans, and explain how you can participate by providing input and comment. Contact information for the Applicant's attorneys, the Montgomery County Planning Dept., and the Planning Board was displayed. Mr. McSweeney will be recording this meeting and taking minutes. For purposes of the sign-in sheet, Mr. Dalrymple requested attendees send their name and contact information to Graham McSweeney through the Zoom chat or directly to his email at gmsweeney@sgrwlaw.com. Including your mailing address will add you as a party of record for future mailings regarding this project. Mr. Dalrymple mentioned there is a chat feature within the Zoom software that can be used to provide comments or questions during the meeting but at the end of the presentation, there will also be an opportunity to ask questions and provide feedback. Mr. Dalrymple turned the presentation over to Mr. Gordon to go through the review process.

- A slide was displayed outlining the various project entitlement milestones and associated timeframes. Mr. Gordon stated that the voluntary Concept Plan process is complete. Based on input from neighbors and reviewing agencies, refinements were made and are incorporated into the present Preliminary Plan and Site Plan applications. Additionally, the Natural Resources Inventory has been approved. 19 total townhouse/duplex units are now being proposed, a decrease of 3 units from the Concept Plan due to the removal of the triplex units. Preliminary Plan, Forest Conservation Plan, and Site Plan submittal is scheduled for January of 2022. Approval by the Planning Board is expected in mid-2022. Construction is planned for 2023. The Applicant is no longer pursuing a triplex Zoning Text Amendment (ZTA) but may incorporate triplex units if the zoning is changed in the future to allow it.
- Mr. Gordon described the site as approximately 3.27 acres in the R-60 Zone, consisting of 11 single-family detached lots and 2 parcels with frontage on Olney-Sandy Spring Rd and Skymeadow Way. The 19 additional units being proposed will be developed using the optional MPDU method and will include 25% MPDUs. The existing approvals from the 1980s covering some of the lots will be amended to be remove the properties so that they may be incorporated into the new project. The project provides infill development which is consistent with the recommendations of the area Master Plan that was adopted by the County Council in 2015. The Preliminary Plan will convert the two parcels fronting on Olney-Sandy Spring Road into 19 lots and look at environmental issues as well as adequate public facilities. The Site Plan will provide an overview of landscaping, amenities, and the design of the building including height and setbacks.
- Mr. Dalrymple emphasized that although the Applicant will no longer be independently pursuing a ZTA to allow for triplex units in the R-Zone, there is ongoing consideration by the Planning Department and County Council of new attainable housing policies which would allow for triplex units. If policies are changed in the future to allow for triplex units in the R-60 Zone, the Applicant will likely convert 3 of the proposed duplex buildings into triplex in an effort to meet the County's goal of providing Missing Middle housing.
- A slide was displayed with a list of the addresses of the properties included in the project alongside an aerial with each lot/parcel labeled.

Area of Application Includes:

-Bloomfield Subdivision:

- 617 Olney-Sandy Spring Road (“617”)

-Sandy Spring Meadows:

- 17901 Skymeadow Way (Parcel “B”)
- 17938 Skymeadow Way (Lot “7”)
- 17934 Skymeadow Way (Lot “8”)
- 17930 Skymeadow Way (Lot “9”)
- 17926 Skymeadow Way (Lot “10”)
- 17922 Skymeadow Way (Lot “11”)
- 18001 Branchwood Lane (Lot “12”)
- 18005 Branchwood Lane (Lot “13”)
- 18009 Branchwood Lane (Lot “14”)
- 18013 Branchwood Lane (Lot “15”)
- 18017 Branchwood Lane (Lot “16”)
- 18033 Branchwood Lane (Lot “17”)

- Dave Ager of Townscape Design stated the current Master Plan for this area is the Sandy Spring Rural Village Plan adopted by the County Council in March 2015. A slide was displayed showing the project’s close proximity to the area identified as the “Village Center” in the Master Plan. The Master Plan also contains the following recommendations, most of which are applicable to the properties included in this application:
 - Protect the single-family residential edge along MD 108
 - Provide housing for all ages and income levels
 - Establish R-60 zoning for Parcel P338 to allow for a transition from the Village Core to the single-family residential along MD 108
 - Develop at R-60 and R-200 densities
 - Provide infill opportunities for additional residences through the subdivision process
 - Maintain the northern forested edge of trees.

Mr. Ager stated the R-60 zoning for Parcel P338 has already occurred as part of the Master Plan’s Sectional Map Amendment. The proposed applications directly respond to the Master Plan recommendations to develop in the R-60 Zone and provide infill opportunities for additional residences through the subdivision process. The recommendation regarding maintaining trees along the northern edge relates to an area outside the limits of these applications. More details on how the project will implement the other Master Plan recommendations will follow later in the presentation.

- Mr. Ager stated that during the prior presentation at the community meeting for the Concept Plan in April 2021, there were questions about whether the project would be in compliance with the draft Ashton Village Center Plan which has since been adopted. As stated at the prior community meeting, the proposed design and architecture of the buildings will be consistent with the design guidelines outlined in the Ashton Village Center Plan, including:
 - Building Placement Close to the Street
 - Building Massing and Composition

- Use of Varying Roof Designs
 - Minimum 6:12 Pitch
 - Architectural Embellishments Such as Porches
 - Primary Entrances Facing the Street
- A slide was displayed showing an outline of the northern and southern area of the proposed project. In the northern area, the existing single-family homes and streetscapes will remain. However, the existing lots will be resubdivided to create a new landscaped open space area. The redevelopment will occur in the southern area and will include open space, infill housing, and pedestrian and bicycle infrastructure along Skymeadow Way and MD 108.
 - A slide was displayed showing the proposed open space in the northern area and proposed building footprints and configuration in the southern area. The next slide showed a zoomed-in view of the southern area where the infill development will occur and consist of 19 new units in 6 buildings total. All of the new units in the buildings will either be duplex or townhouse, unless triplex becomes a permitted use in the R-60 zone, in which case 3 proposed duplex buildings will be converted to triplex. 900 square feet of community space, to include internet access and a warming kitchen, will also be incorporated into one of the buildings for use by the residents of Sandy Spring for events and gatherings.
 - A slide was displayed showing images of the different building types being proposed, including duplexes, townhouses, and the building that includes community space on the ground floor and a duplex above. One of the main goals in the design of the buildings was to create units that look like single-family residences in an effort to preserve the single-family nature of the neighborhood and surrounding area.
 - Preliminary Plan and Site Plan summary:
 - 30 Total Dwelling Units Proposed
 - 11 Existing SF Dwellings to Remain
 - 19 New Missing Middle Dwelling Units Proposed
 - 5 MPDUs will be Provided
 - 1 Accessible Unit Included
 - No “Triplex” Units Proposed At This Time
 - Parking Setback Maintained
 - Open Space Increased and Relocated Closer to the Patuxent Management Area
 - Follows Intent of the Ashton Plan Design Guidelines
 - Submitting an MPDU Optional Method of Development
 - Mr. Dalrymple then opened up the meeting for any questions or comments from the audience.

2) Questions/comments from the audience:

- An attendee asked what the overall unit count will be and how many will be MPDUs? Will there be any loss of MPDUs?

The Applicant advised 11 single-family dwellings will remain and 19 additional townhouse/duplex units are being added, 5 of which will be MPDUs, for a net increase of 5 MPDUs.

- An attendee asked what the price points will be for the new units?

The Applicant advised these will be rental units, not for-sale, and it has not yet been determined what the rental amount will be for each unit. The rental price for the MPDUs will be set at a percentage of the Area Median Income (AMI).

- An attendee asked if this will be the only community meeting? The timing of the meeting around the holidays may have limited participation.

The Applicant advised that this is the second community meeting for the project, following a voluntary community meeting that was held for the Concept Plan. Following this community meeting, the Applicant would only be required to hold another meeting if they need to later amend the approved plans. However, there is plenty of opportunity for community feedback, both prior to and on the date of the Planning Board hearing that will be scheduled for the project. The Planning Board allows members of the public to both submit written testimony and appear virtually at the hearing to provide oral testimony. Regarding the timing of this community meeting, we are following the requirements of the entitlement process and scheduled it based on when we are aiming to submit the Preliminary and Site Plan applications. We apologize for any inconvenience and for those who couldn't join, we are recording this meeting and would be happy to send a copy to whomever may be interested. Additionally, if there is sufficient interest from the community to have another meeting after the application is filed, we would certainly be open to setting up another virtual meeting.

- An attendee asked what does "Pilot" mean?

The Applicant advised the project was labeled a "Pilot" because this is one of the first, if not the first, projects to directly address the shortage of "Missing Middle" housing in the County and set forth a clear path of the steps and costs involved with delivering attainable housing. By setting an example, it is our hope that others will replicate the process, which will provide for more opportunities to address the Missing Middle housing shortage.

- An attendee asked if the County will be tracking any metrics to determine if the Pilot is a success?

The Applicant advised that the project will be considered a success and an example to follow if units are delivered at a price point that is not otherwise available in the County. There is much debate about how exactly to solve the Missing Middle housing shortage, but we are taking action in an effort to lead by example.

- An attendee asked if the new units will always be rental and not for-sale? Are there rules that can be put into place to keep it that way?

The Applicant advised that HOC's main purpose is to deliver affordable housing and maintain long-term. There is no plan to convert these units to for-sale, which would likely involve a condominium-conversion process based on the multi-unit configuration of each building.

- An attendee asked how will you know if you are actually reaching the type of people that the Missing Middle housing initiative aims to serve? Will there be income limits and an application process for those who rent the units?

The Applicant confirmed there will be income limits and an application process for those renting the new units, which are considered a step above MPDUs in terms of price point. Although there is not yet any legislative definition of Missing Middle housing or associated price controls, HOC is in the business of affordable housing and understands how to target the population that is underserved. The goal is to provide housing to persons such as schoolteachers that may not qualify for an MPDU, but also cannot afford market rate units.

- An attendee asked where the increased open space was relocated to?

The Applicant advised that the northern portion of the site currently has no open space and is completely subdivided into lots. The resubdivision of these lots will create approximately three-quarters of an acre of new open space. An additional area of open space will also be located in the southern area of the project near the community center as a buffer to the neighbor to the east.

- An attendee asked if the existing playground will be retained?

The Applicant confirmed the playground equipment will be retained.

3) Conclusion

- Mr. Dalrymple reminded all attendees that they should feel free to contact the Applicant at any time with any comments, questions or concerns you may have. Mr. Dalrymple thanked the attendees for their interest in the project and participating in the community meeting. The meeting concluded at 7:45 PM.

Meeting minutes taken by Graham McSweeney, paralegal at Selzer Gurvitch.

Sandy Spring Missing Middle Housing Pilot Project

Pre-Submission Community Meeting Preliminary Plan and Site Plan

Tuesday, December 21, 2021, 7:00 p.m.
Virtual Meeting Held via Zoom

Attendance Sheet

NAME	ADDRESS	INCLUDE AS PARTY OF RECORD? (Y/N)¹
Florence	Not provided	No
Kathleen Wheeler	Not provided	No
Robin Ziek	18000 Bentley Road Sandy Spring, MD 20860	Yes
Amy Medd	17818 Hidden Garden Lane Ashton, MD 20861	Yes

¹ The pre-submission community meeting notice and pre-submission community meeting presentation provided email instructions for any participant electing to become a party of record. Mailing addresses are included for the Zoom participants that either submitted an email or used the Zoom chat to request that they be added as a party of record.