

MONTGOMERY PLANNING DEPARTMENT
 APPROVAL 02/06/23

LEGEND

- EX. CONTOURS
- PROP. CONTOURS
- EX. BUILDING
- PROP. BUILDING (NON-RESIDENTIAL)
- EX. STREAM
- EX. CURB
- PROP. CURB
- PROP. FLUSH CURB
- PROP. MOUNTABLE CURB
- EX. SIDEWALK
- PROP. SIDEWALK
- EX. ELECTRIC
- EX. GAS
- EX. SEWER
- PROP. SEWER
- EX. WATER
- PROP. WATER
- EX. STORM DRAIN
- PROP. STORM DRAIN
- EX. OVER HEAD WIRE
- EXISTING TREE LINE
- EX. FENCE
- LIMITS OF SITE PLAN AMENDMENT
- CAR SHARE PARKING SPACES
- CAR POOL PARKING SPACES
- ELECTRIC VEHICLE PARKING SPACES
- PROP. LIGHT POLE
- PROP. PARKING LOT LIGHT POLE

HARDSCAPE MATERIAL LEGEND

- (A-1) PROPOSED CONCRETE FINISH TYP. (BROOM FINISH EXPOSED AGGREGATE OR COLORED CONCRETE)
- (C-1) CRUSHED GRANITE FOR PEDESTRIAN AREAS (SEE DETAIL 3, SHEET 10)
- (E-1) PAVERS (SEE ARCHITECTURAL PLANS)
- (F-1) ARTIFICIAL TURF LAWN (SEE DETAIL 6, SHEET 10)

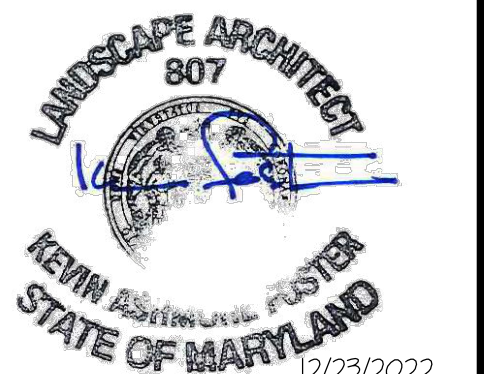
- SITE FURNISHING NOTES**
- FLEXIBLE SEATING AREAS TO ALLOW 6' CLEARANCE FROM CURB.
 - THE LOCATION AND QUANTITY OF BENCHES, SEATING GROUPS AND OTHER FURNITURE ARE APPROXIMATE AND MAY VARY BASED ON THE LOCATION AND USE OF TENANTS, AND SPECIFIC TENANT REQUIREMENTS.
 - FURNITURE SETTINGS AND DINING WILL BE MOVEABLE AND WILL BE STORED SEASONALLY AS NEEDED.

- Amendment 01985104A Summary:**
- Frontage Improvements along Old Columbia Pike.
 - Partial demolition of existing buildings.
 - New Retail Buildings.
 - Parking Modifications and revisions to meet ADA requirements.
 - Updates to on-site lighting, landscape, pedestrian circulation and open space.

NOTES:
 1) ALL PROPOSED PAVEMENT MARKINGS AND SIGNAGE ON PUBLIC STREETS ARE FOR REFERENCE ONLY AND WILL BE FINALIZED AT R/W PERMIT UNDER SIGNAGE AND MARKING PLANS.

DEVELOPER'S CERTIFICATE
 The undersigned certifies to execute all the features of the Site Plan Approval No. 01985104A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Burtonville (E&A) LLC William Caldwell, Contact Person
 Company
 Address: 1272 5th Street NE, Suite 200
Washington, DC 20002
 Phone: (202) 902-2600
 Signature: William Caldwell, Managing Director

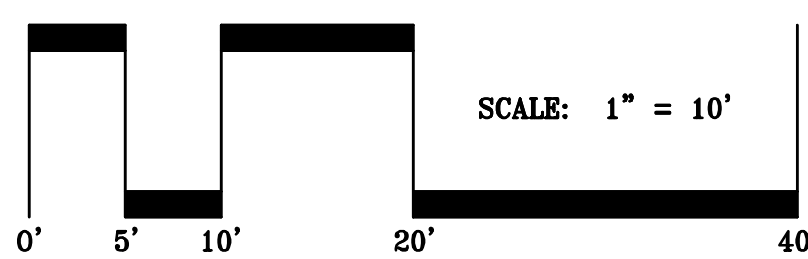


MATCHLINE, SEE SHEET 13



GLW
 PLANNING | ENGINEERING | SURVEYING
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DESIGNED BY	CHECKED BY	DATE	REVISION	BY	APPR.
KAB	TML	8/19/2024			



PREPARED FOR:
 Burtonville (E&A) LLC
 1272 5th Street NE
 Suite 200
 Washington, DC 20002
 Attn: Jim McKenney
 202-902-2600

SCALE	ZONING
1"=10'	ORT-1.5 (C-1.0 R-1.25, H-75)
DATE	TAX MAP - GRID
DEC. 2022	K5-562

HARDSCAPE PLAN
BURTONVILLE CROSSING SHOPPING CENTER
 PARCEL 'L' - BURTONVILLE
 Plat No. 16306
 Deed Book 24792 Page 246
 COLESVILLE ELECTION DISTRICT No. 05
 MONTGOMERY COUNTY, MARYLAND

G. L. W. FILE No. **16028**
 SHEET **12** OF **25**