

## Shires, Edward

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**From:** Pereira, Sandra  
**Sent:** Thursday, June 15, 2023 5:09 PM  
**To:** Jim McKenney  
**Cc:** Sigworth, Ryan; Kaye, Josh; Nichols, Greg; Shires, Edward; Van Alstyne, Chris  
**Subject:** Burtonsville Crossing Shopping Center (81985104A) :: Old Columbia Pike cross-section  
**Attachments:** 16028 SP-05-RD SECTIONS-REV FOR JMM.pdf

Jim,

Thanks for meeting with us. The request to adjust the approved road cross-section 1 on Old Columbia Pike to account for SHA requirements related to the existing concrete slab joints under the asphalt in the road is acceptable. The revised cross-section allows the joints to be located in the middle of the travel lanes. As illustrated on the attached drawing, the revised cross-section shifts features while maintaining an 11-foot-wide asphalt sidepath, minimum 10 ft. wide street buffer and drainage swale within the existing right-of-way.

This change is in the public right-of-way and does not alter the character or intent of the most recent Site Plan approval #81985104A. Further, it does not conflict with any Planning Board conditions or findings of approval. This change by itself does not require a Site Plan amendment. However, any future site plan amendments will reflect this change.

I'm copying the DPS-SPE team to keep them in the loop, and the IRC team to upload this correspondence into DAIC/eplans for Site Plan # 81985104A.

Please let me know if you have any questions.

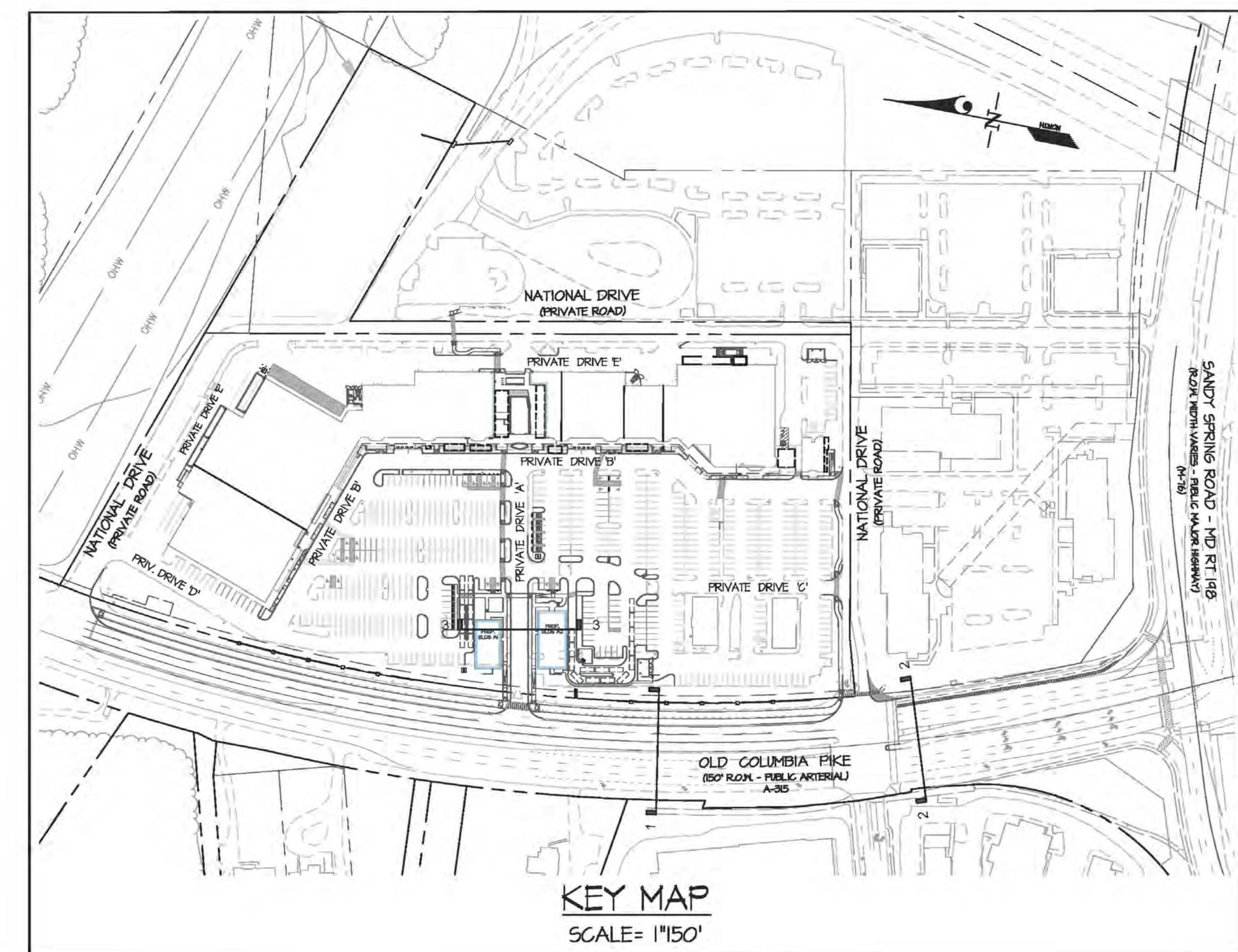
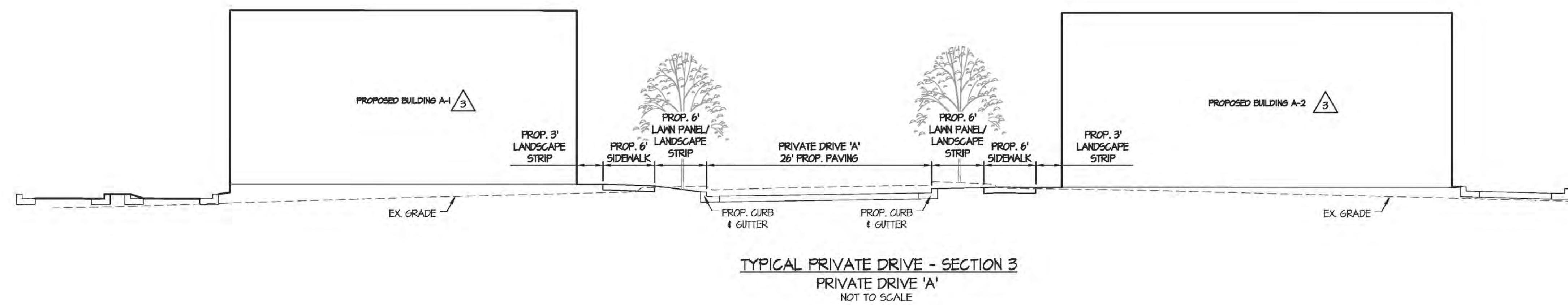
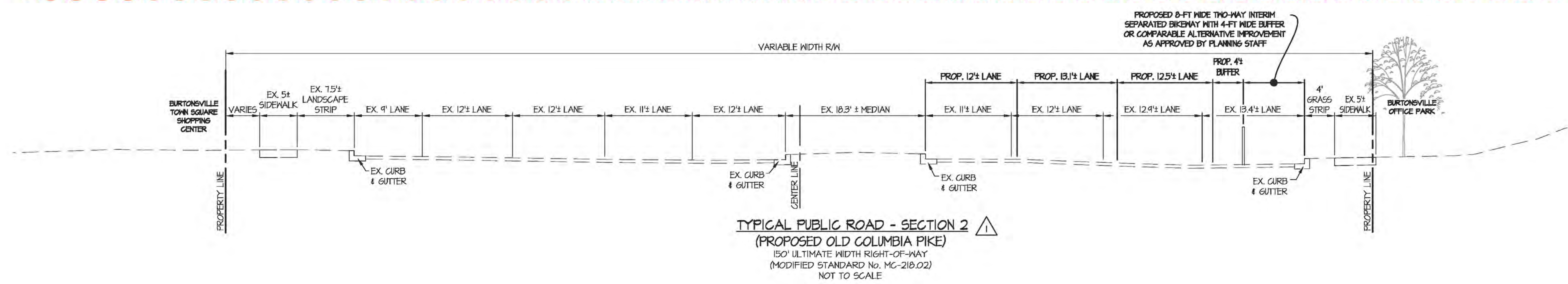
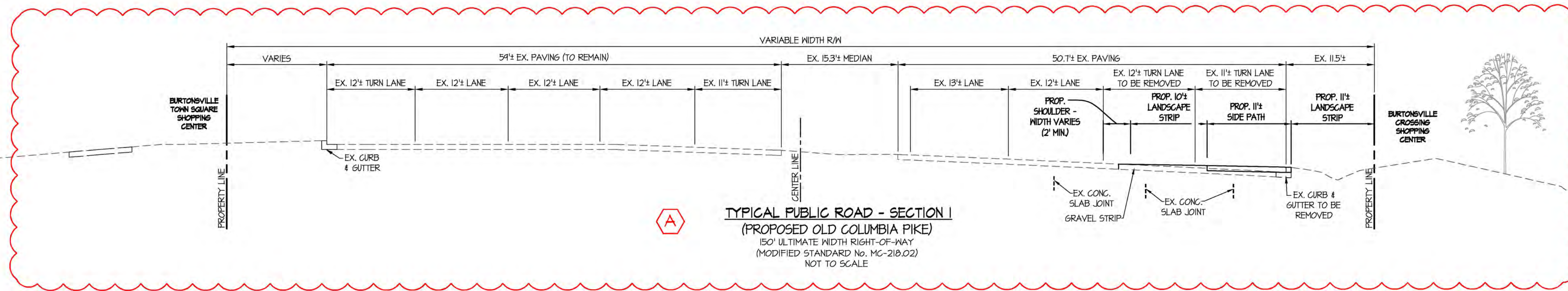
Thanks,  
Sandra



**Sandra Pereira, RLA**  
Regulatory Supervisor, Upcounty Planning Division

Montgomery County Planning Department  
2425 Reedie Drive, Wheaton, MD 20902  
[sandra.pereira@montgomeryplanning.org](mailto:sandra.pereira@montgomeryplanning.org)  
direct: 301-495-2186 | main: 301-495-4645





- Amendment 01905104A Summary:**
- 1. Frontage Improvements along Old Columbia Pike.
  - 2. Partial demolition of existing buildings.
  - 3. New Retail Buildings.
  - 4. Parking Modifications and revisions to meet ADA requirements.
  - 5. Updates to on-site lighting, landscape, pedestrian circulation and open space.

- NOTES:**
1. All proposed pavement markings and signage on public streets are for reference only and will be finalized at r/w permit under signage and marking plans.
  2. H-NOFFG Staff must inspect all tree-save areas and protection devices before clearing and grading.
  3. Minor modifications to the limits of disturbance shown on the site plan within the public right-of-way for utility connections may be done during the review of the right-of-way permit drawings by the Department of Permitting Services and/or the Maryland State Highway Administration.
  4. Street trees and street lights will be reviewed and approved by MDPSS-RON section and/or the Maryland State Highway Administration at the time of ROW permit.
  5. Final Improvements along Old Columbia Pike will be approved by Maryland State Highway Administration through the Access Permit Process.

**PROFESSIONAL ENGINEER'S CERTIFICATION**  
 THE UNDERSIGNED LICENSED PROFESSIONAL ENGINEER CERTIFIES THAT THE SITE PLANS HEREIN CONFORM TO THE STANDARDS OF THE ZONE, AND THE PLANNING BOARD SITE PLAN OPINION. IN ADDITION, THE SITE PLANS ARE CONSISTENT WITH THE DATA TABLE PROVIDED ON THE COVER SHEET. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE No. 29114 EXPIRATION DATE: January 20, 2024.

12/23/2022  
 Date  
 Tim M. Longfellow  
 Professional Engineer  
 Gutschick, Little & Heber, P.A.

**DEVELOPER'S CERTIFICATE**  
 The undersigned agrees to execute all the features of the Site Plan Approval No. 20230104A, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Burtonsville (E&A), LLC William Goldwell, Contact Person  
 Company  
 Address: 1272 5th Street NE, Suite 200  
 Washington, DC 20002  
 Phone: (202) 902-2600  
 Signature: William Goldwell, Managing Director



Suite 200 1272 5th Street NE Washington, D.C. 20002 Phone: 202.902.8500 Fax: 202.544.4327



DESIGNED BY	DATE	REVISION	BY	APPR.
KAB				
CHECKED BY	5/30/2023	(A) REVISED PER MD SHA COMMENTS	WON	MAJ
KAF		81985104A		

**PREPARED FOR:**  
 Burtonsville (E&A), LLC  
 1272 5th Street NE  
 Suite 200  
 Washington, DC 20002  
 Attn: Jim McKenney  
 202-902-2600

SCALE  
 CRT-1.5 (C-1.0  
 R-1.25, H-75)  
 DATE  
 DEC. 2022  
 TAX MAP - CRD  
 K5-562

**ROAD SECTIONS**  
**BURTONSVILLE CROSSING SHOPPING CENTER**  
 PARCEL 'L' - BURTONSVILLE  
 Plat No. 16306  
 Deed Book: 24792 Page 246  
 COLESVILLE ELECTION DISTRICT No. 05  
 MONTGOMERY COUNTY, MARYLAND

G. L. W. FILE No.  
**16028**  
 SHEET  
 5 OF 25

LICENSED PROFESSIONAL ENGINEER (P.E.) IN MARYLAND, LICENSE NO. 29114, EXPIRES JANUARY 20, 2024.