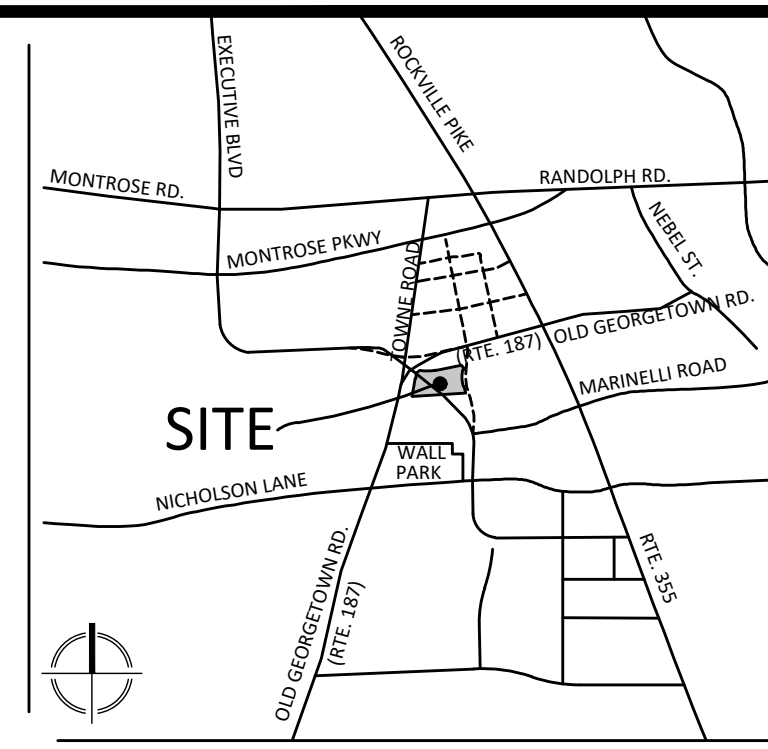


EvolutionLabs North Bethesda

Phase 1 Site Plan M-NCPPC 82015001B



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Our Site Set on the Future.

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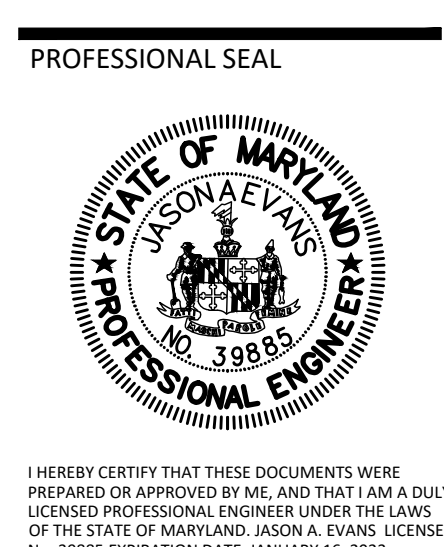
GENERAL NOTES

1. THE SUBJECT PROPERTY IS LOCATED ON TAX MAP # G062, AND ZONED CR-3, C-2.5, R-2.5, WITH A PORTION BEING ZONED CR-4, C-2.0, R-3.5, H-250.
2. THE HORIZONTAL DATUM IS BASED ON THE MARYLAND COORDINATE SYSTEM NAD83/91 MD1900. THE VERTICAL DATUM IS BASED ON THE DATUM OF THE WASHINGTON SUBURBAN SANITARY COMMISSION NGVD29.
3. THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 24031C361D FOR MONTGOMERY COUNTY, MARYLAND, DATED SEPTEMBER 29, 2006.
4. TOPOGRAPHIC INFORMATION BASED ON AERIAL MAPPING PROVIDED BY NRI/FSO SITE PLANNING, INC. DATED DECEMBER 17, 2009 AND FIELD VERIFIED BY VKA, INC. INsofar AS POSSIBLE. 2' CONTOUR INTERVAL.
5. PURSUANT TO THE SECTOR PLAN, THIS SITE IS ZONED: CR-3, C-2.5, R-2.5, H-70', AND CR-4, C-2.0, R-3.5, H-250'.
6. THE PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER SYSTEMS AND IS CURRENTLY IN WATER AND SEWER SERVICE CATEGORIES W-1 AND S-1, RESPECTIVELY.
7. NRI/FSO PLAN NUMBER 420131890 WAS APPROVED ON 7-2-2013. THIS PLAN IS SUBJECT TO FOREST CONSERVATION REQUIREMENTS, SEE FINAL FOREST CONSERVATION PLAN.
8. MNCPPC STAFF MUST INSPECT ALL TREE SAVE AREAS AND PROTECTION DEVICES PRIOR TO CLEARING AND GRADING.
9. ROAD LAYOUT, GRADING, UTILITIES AND ALL ASSOCIATED ATTRIBUTES FOR THE WESTERN WORKAROUND REALIGNMENT OF MARKET STREET AND EXECUTIVE BOULEVARD ARE A PRODUCT OF GREENHORNE AND OMEARA. INFORMATION SHOWN IS FOR REFERENCE ONLY AND IS SUBJECT TO CHANGE WITH FINAL DESIGN.
10. MINOR MODIFICATIONS TO THE LIMITS OF DISTURBANCE SHOWN ON THE SITE PLAN WITHIN THE PUBLIC RIGHT-OF-WAY FOR UTILITY CONNECTIONS MAY BE DONE DURING THE REVIEW OF THE RIGHT-OF-WAY PERMIT DRAWINGS AT THE DEPARTMENT OF PERMITTING SERVICES.
11. BIKE RACKS MUST BE INSTALLED PER MCDOT STANDARD REQUIREMENTS. COORDINATE WITH PATRICIA SHEPARD AT 240-777-7231.
12. THE APPLICANT MUST SCHEDULE A PRECONSTRUCTION MEETING ("PRE-COM") PREFERABLY ON-SITE, WITH STAFF FROM THE DEPARTMENT OF PERMITTING SERVICES (DPS) RESPONSIBLE FOR CERTIFIED SITE PLAN (CSP) CONFORMANCE AND COMPLIANCE, UPON APPROVAL OF THE CERTIFIED SITE PLAN. THE PRE-COM MUST OCCUR PRIOR TO ANY SITE WORK COMMENCEMENT AND PRIOR TO ANY WORK THAT IS COVERED BY THE SITE PLAN SURVEY AND MAINTENANCE AGREEMENT. THE APPLICANT, ALONG WITH THEIR REPRESENTATIVES, MUST ATTEND THE PRE-COM WITH DPS STAFF. A COPY OF THE APPROVED CERTIFIED SITE PLAN IS REQUIRED TO BE ON-SITE AT ALL TIMES.
13. FINAL BUILDING LOCATIONS WILL BE DETERMINED DURING THE BUILDING PERMIT PROCESS. PLEASE REFER TO THE ZONING DATA TABLE FOR DEVELOPMENT STANDARDS SUCH AS SETBACKS, BUILDING RESTRICTION LINES, & LOT COVERAGE FOR EACH LOT. OTHER LIMITATIONS FOR SITE DEVELOPMENT MAY ALSO BE INCLUDED IN THE CONDITIONS OF THE PLANNING BOARD'S APPROVAL.
14. THESE PLANS REFLECT FRONTAGE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY TO BE COMPLETED BY MONTGOMERY COUNTY, IN CONNECTION WITH THE CONSTRUCTION OF THE WESTERN WORKAROUND BY MONTGOMERY COUNTY. PROVIDED THAT THE LIGHTING AND STORMWATER MANAGEMENT FACILITIES REMAIN UNAFECTED, THE APPLICANT MAY REVISE THE HARDSCAPE AND LANDSCAPE ELEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SUBJECT TO ALL COUNTY PERMITS, WITHOUT FURTHER AMENDING THE SITE PLAN.
15. AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED TO BE SET UP WITH THE DEPARTMENT OF PERMITTING SERVICES (MCDPS), ZONING & SITE PLAN ENFORCEMENT DIVISION BEFORE ANY BUILDING CONSTRUCTION ACTIVITY OCCURS ON-SITE. THE OWNER OR THEIR DESIGNEE WHO HAS SIGNATURE AUTHORITY, AND THE GENERAL CONTRACTOR MUST ATTEND THE PRE-CONSTRUCTION MEETING WITH THE MCDPS SITE PLAN ENFORCEMENT INSPECTOR. A COPY OF THE CERTIFIED SITE PLAN IS REQUIRED TO BE ON-SITE AT ALL TIMES. TO SCHEDULE A SITE PLAN INSPECTION WITH MCDPS, ZONING & SITE PLAN ENFORCEMENT DIVISION, PLEASE CONTACT BRIAN KEELER, SUPERVISOR AT 240-581-4485.

REVISIONS	DATE

**EvolutionLabs
North
Bethesda**
1st ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 215NW06
TAX MAP: G062
82015001B

**COVER
SHEET**



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. I HOLD AN ACTIVE LICENSE No. 38885. EXPIRATION DATE: JANUARY 16, 2023.

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT THE WRITTEN AUTHORIZATION FROM VKA MARYLAND, LLC. VIOLATION MAY RESULT IN PROSECUTION, ONLY APPROVED, SEIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY: SG
DESIGNED BY: ID/JS
DATE ISSUED: 09/01/2022

VKA PROJECT: VM1614
DRAWING NO.: SP-1

SHEET NO.

Certified Site Plan
File No. **82015001B**
Montgomery County Planning Board Approval

Chair or Designee: _____ Date: _____

Development Tabulations			Phase 1	Remaining
Parcel A, Plat 25095 (Includes reservation area, Plat 25095)	SF	ACRES		
portion of previous Executive Boulevard alignment R/W from County	138,398	3.17738		
VOB Land Swap	17,890	0.41078		
County's Revenue Land Authority Land Swap	2,024	0.06024		
	22,026	0.50656		
Applicant Net Lot Area (less reservation area, Plat 25095)	163,447	3.75223	100,293	63,154
Additional Parcels				
Reservation Area, Plat 25095	17,491	0.40154		
previous Old Georgetown Road R/W	29,490	0.67700		
Gross Tract Area (For Density)	210,428	4.83076		
Allowable Development				
	SF	ACRES		
Gross Tract Area (For Density) CR-3, C-1.5, R-2.5, H-70'	192,937	4.42922		
Gross Tract Area (For Density) CR-4, C-2.0, R-3.5, H-250'	17,491	0.40154		
Total Combined Gross Tract Area	210,428	4.83076		
	FAR	GFA (sf)		
CR Zone Base Density Allowed	0.50	105,214		
Density Allowed from CR4 Portion of Property	4.00	163,924		
Density Allowed from CR3 Portion of Property	3.00	557,592		
Total Allowed Density for Project	3.18	721,516		

Proposed Development	CR-3, C-1.5, R-2.5, H-70'/CR-4, C-2.0, R-3.5, H-250'	Tower A	Future	
	FAR	GFA (sf)	GFA (sf)	
Research & Development	3.18	721,516	240,505	481,011

Building Height	Maximum Allowed	Proposed
Tower A	150'	150'

Public Open Space (Tower A) (% of Approved Net Lot Area)	
Public Open Space % On Site Required	10.00%
Public Open Space SF On Site Required	10,029
Public Open Space % Proposed in Phase 1	11.96%
Public Open Space SF Proposed in Phase 1 Net Lot	12,000
Right of Way Streetscape % Provided for Phase 1 Net Lot (Not Required)	4.99%
Right of Way Streetscape SF Provided for Phase 1 Net Lot (Not Required)	5,000

Note: Public Use Space provided for the overall project not to be less than 10% as required for entire development. However, public use space provided in each individual site plan phase may be higher or lower than 10%. The Open Space provided is exclusive of the Public Use Space provided - any Public Benefit Points calculated are based on the amount of Public Open Space provided.

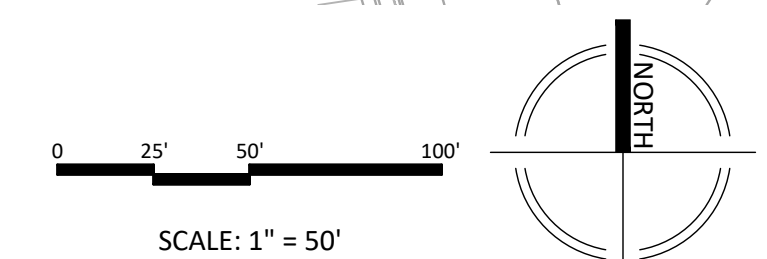
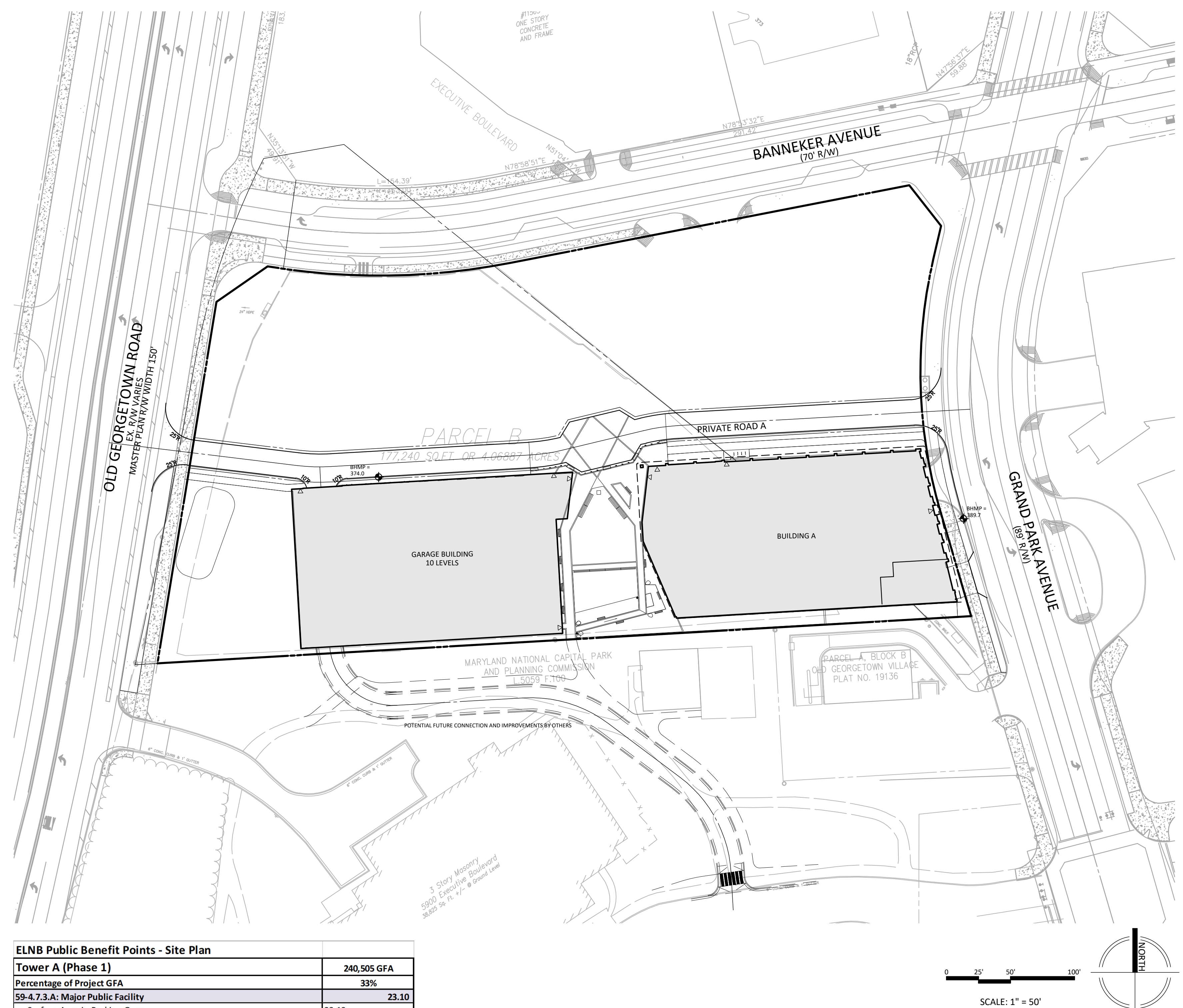
Setbacks	Minimum Required	Proposed
From a street right-of-way	0'	0'
From an adjoining lot line	0'	0'

Vehicle Parking	GFA/Units	Min Parking Required	Max Parking Allowed	Parking Provided
Tower A: Research & Development (1 min, 3 max per 1,000 GFA)	240,505	240.51	721.52	591
Totals		240.51	721.52	591
			Wall Park Spaces (Phase 1)	101
			Total:	692

ADA Accessible Parking Spaces - Commercial	Required	Provided
Accessible Spaces (including Van)	14	19
Van Accessible Spaces	4	5

Motorcycle Spaces	Required	Provided
Commercial Motorcycle Spaces (10 maximum)	14	12

Bicycle Spaces	Required	Provided
Research & Development (1/5,000 SF GFA, 100 max)	48.10	83
Research & Development, Long Term is 85% of Total	40.89	75



ELNB Public Benefit Points - Site Plan	
Tower A (Phase 1)	240,505 GFA
Percentage of Project GFA	33%
59-4.7.3.A: Major Public Facility	23.10
Surface Area in Parking Garage	23.10
59-4.7.3.B: Transit Proximity	6.89
Full Site within 1/2 mile of White Flint Metro Entrance	6.89
59-4.7.3.C: Connectivity & Mobility	11.20
B. Minimum Parking	2.90
E. Through-Block Connections	3.30
I. Wayfinding to Josiah Henson and Wall Park, Metro	5.00
59-4.7.3.D: Diversity of Uses & Activities	2.50
A. Adaptive Buildings	2.50
59-4.7.3.E: Quality Building & Site Design	8.16
B. Exceptional Design	3.33
D. Public Open Space	1.12
F. Structured Parking	3.71
59-4.7.3.F: Protection & Enhancement of the Natural Environment	4.30
A. Building Lot Termination (BLT)	4.3001
Total Public Benefit Points, this phase	56.15
Portion of Project Public Benefits:	36%
Total Number of Categories:	6

SHEET INDEX	
SP-1	COVER SHEET
SP-2A	PLAN APPROVALS & RESOLUTIONS
SP-2B	PLAN APPROVALS & RESOLUTIONS
SP-2C	PLAN APPROVALS & RESOLUTIONS
SP-3	SITE PLAN
SP-4	SITE PLAN DETAILS

SUPPORTING DRAWINGS SHEET INDEX	
APPROVED NRI/FSO	
STORMWATER MANAGEMENT CONCEPT PLAN	
FIRE ACCESS PLAN	
PUBLIC OPEN SPACE PLAN	
COLOR UTILITY PLAN	

SUPPLEMENTAL DRAWINGS SHEET INDEX	
EXISTING RECORD PLANS	
CIRCULATION PLAN	

DEVELOPER'S CERTIFICATE	
The undersigned agrees to execute all the features of the Site Plan Approval No. 82015001B, including Approval Conditions, Development Program and Certified Site Plan.	
Developer's Name:	xxxxxx
Contact Person:	xxxxxx
Address:	xxxxxx
Phone:	xxxxxx
Signature:	_____ Date: _____