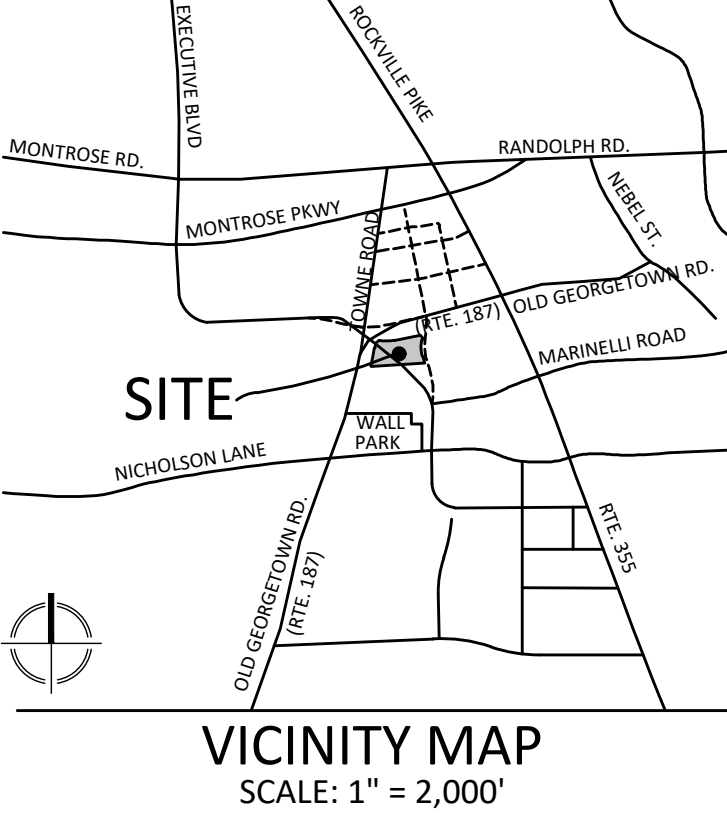
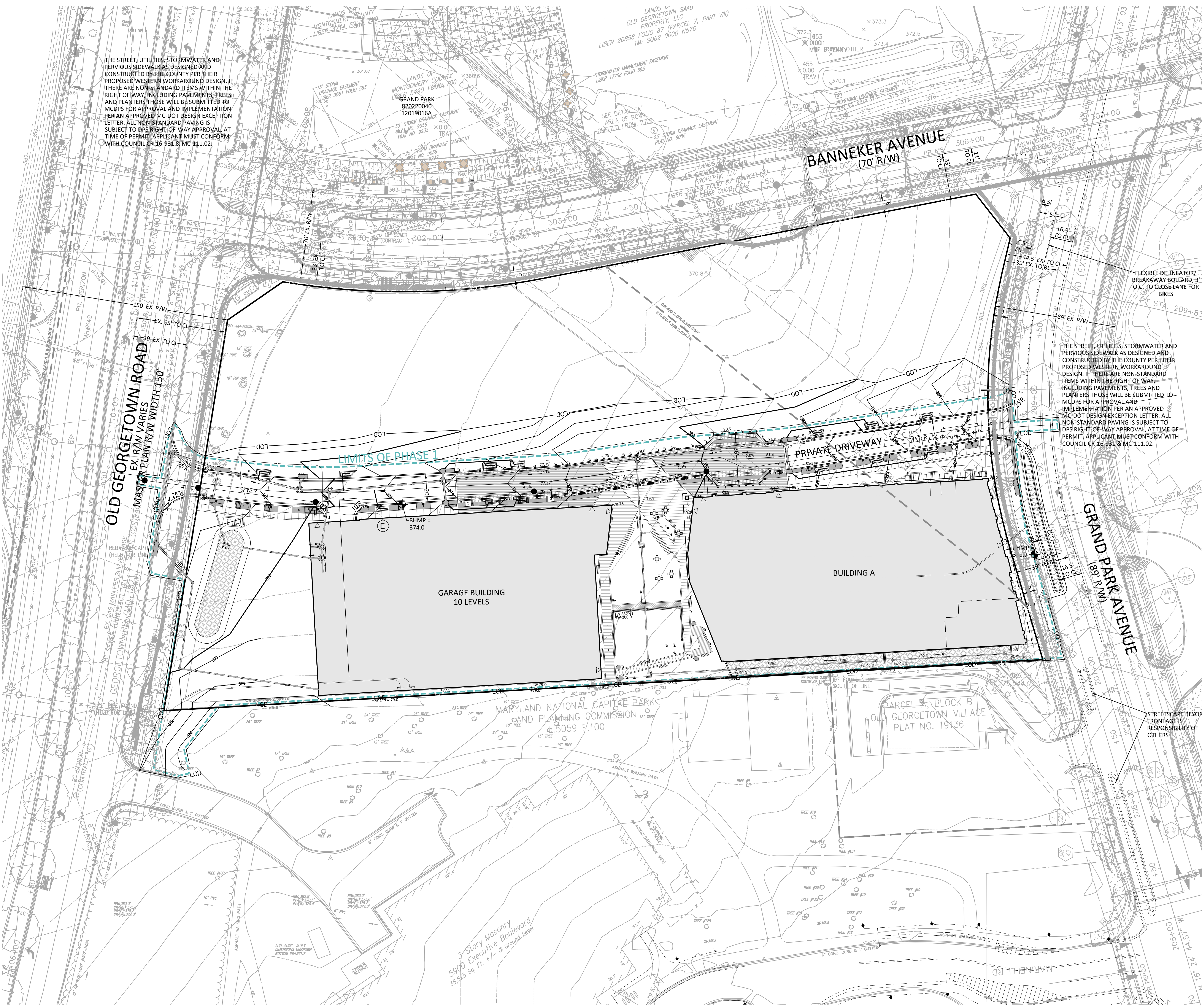


Certified Site Plan
File No. **82015001B**
Montgomery County Planning Board Approval

Chair or Designer: _____ Date: _____

PLAN LEGEND

	PROPERTY LINES
	ADJACENT PROPERTY LINES
	EXISTING CABLE TELEVISION CONDUIT
	EXISTING ELECTRICAL CONDUIT
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE LINE
	EXISTING NATURAL GAS CONDUIT
	EXISTING OVERHEAD WIRES
	EXISTING COMMUNICATIONS CONDUIT
	EXISTING PUBLIC UTILITIES EASEMENTS
	EXISTING SANITARY SEWER CONDUIT
	EXISTING STORM DRAIN CONDUIT
	EXISTING WATER CONDUIT
	EXISTING ZONING LIMITS
	BUILDING AT GRADE
	BUILDING BELOW
	BUILDING ABOVE
	BUILDING RETAIL
	BUILDING CANOPY
	LIMITS OF LOADING AREA
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER WITH STRUCTURE
	PROPOSED STORM DRAIN
	PROPOSED OVERALL LIMITS OF DISTURBANCE
	PROPOSED STORM WATER EASEMENT
	EXISTING PARKING LABEL
	EXISTING SANITARY CLEANOUT
	EXISTING STORM DRAIN MANHOLE
	EXISTING ELECTRICAL JUNCTION BOX
	EXISTING ELECTRICAL MANHOLE
	EXISTING FIRE DEPARTMENT CONNECTION
	EXISTING FIRE HYDRANT
	EXISTING GAS MANHOLE
	EXISTING GUY POLE
	EXISTING GAS VALVE
	EXISTING LIGHT POLE
	EXISTING PHONE PEDESTAL
	EXISTING PHONE MANHOLE
	EXISTING UTILITY POLE
	EXISTING SANITARY MANHOLE
	EXISTING TRAFFIC CONTROL BOX
	EXISTING TRAFFIC SIGNAL POLE
	EXISTING TREE
	EXISTING CABLE TELEVISION PEDESTAL
	EXISTING UNKNOWN UTILITY MANHOLE
	EXISTING WATER METER
	EXISTING WATER MANHOLE
	EXISTING WATER VALVE
	EXISTING BOLLARD
	EXISTING SIGN POST
	EXISTING WOOD POST
	EXISTING INLETS
	EXISTING CURB INLET
	EXISTING CONCRETE
	EXISTING CURB AND GUTTER
	EXISTING BUILDING
	EXISTING STORY
	EXISTING ELECTRICAL TRANSFORMER
	EXISTING ASPHALT
	EXISTING EASEMENT
	EXISTING REINFORCED CONCRETE PIPE
	EXISTING CORRUGATED METAL PIPE
	EXISTING BUILDING RESTRICTION LINE
	EXISTING RIGHT-OF-WAY
	BUILDING HEIGHT MEASURING POINTS (SEE SITE PLAN SHEETS)
	PROPOSED LIGHTS
	PROPOSED PARKING LABELS
	SMALL LOADING AREA (12'x30')
	LARGE LOADING AREA (14'x55')
	SIDEWALK RAMP & CROSSWALK (TYP.)
	DOOR LOCATION
	FIRE DEPARTMENT CONNECTION
	STORM WATER VAULT
	BIO-RETENTION PLANTER



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Our Site Set on the Future.

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IAN P. DUKE

REVISIONS	DATE

EvolutionLabs North Bethesda
1st ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND
WSSC GRID: 215NW06
TAX MAP: GQ62

82015001B

SITE PLAN



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. JASON A. EVANS, LICENSE NO. 39885, EXPIRATION DATE JANUARY 16, 2025.

THE INFORMATION, DESIGN AND CONTENT OF THESE DRAWINGS OR DOCUMENTS ARE PROPRIETARY TO VIKA MARYLAND, LLC AND CONSTITUTE ITS PROPRIETARY INTELLECTUAL PROPERTY. THESE DRAWINGS AND/OR DOCUMENTS MUST NOT BE COPIED, REPRODUCED, COPIED, DIGITALLY CONVERTED, MODIFIED OR USED FOR ANY PURPOSE, IN ANY FORMAT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM VIKA MARYLAND, LLC. VIOLATION MAY RESULT IN PROSECUTION. ONLY APPROVED, SIGNED AND SEALED PLANS OR DRAWINGS MAY BE UTILIZED FOR CONSTRUCTION PURPOSES.

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DRAWN BY:	SG
DESIGNED BY:	ID/JS
DATE ISSUED:	09/03/2022
VIKA PROJECT:	VM1614
DRAWING NO.:	SP-003

SHEET NO.

"FOR LOCATION OF UTILITIES CALL 81-1 or 1-800-257-7777 OR LOG ON TO www.call811.com or http://www.misutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 33A of the Montgomery County Code.

DEVELOPER'S CERTIFICATE
The undersigned agrees to execute all the features of the Site Plan Approval No. **82015001B**, including Approval Conditions, Development Program, and Certified Site Plan.

Developer's Name: Stonebridge
Contact Person: Christopher J. Smith
Address: 2727 Wisconsin Avenue, Suite 700 Bethesda, MD 20814
Phone: 301-913-9610

Signature: By: Christopher J. Smith for Stonebridge

