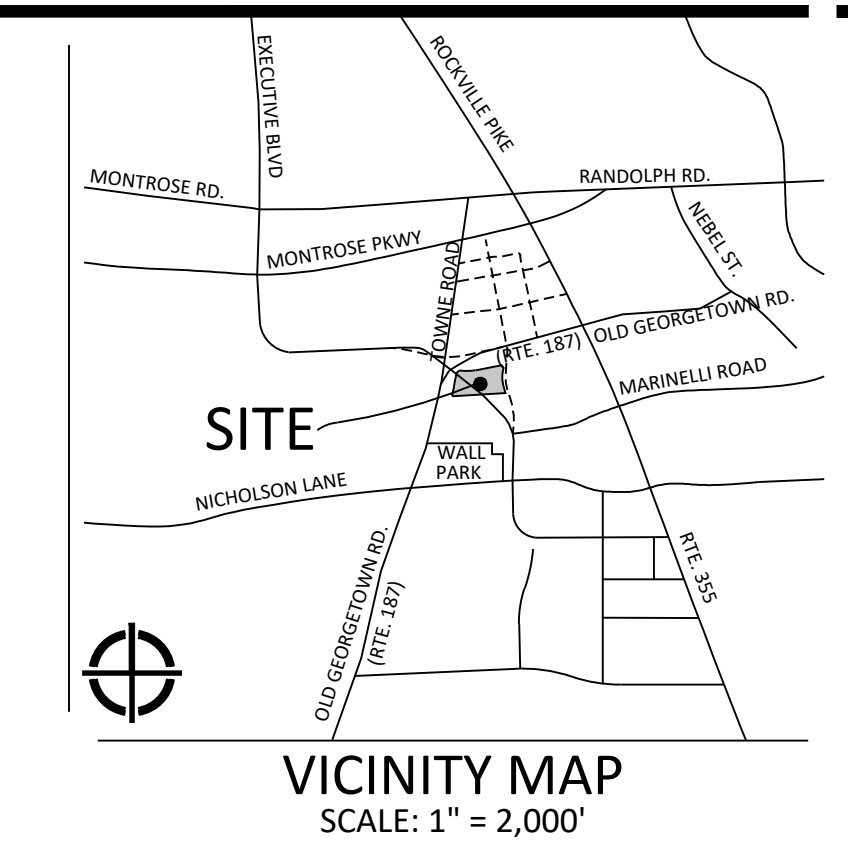


Certified Site Plan
 File No. 82015001B
 Montgomery County Planning Board Approval
 Chair or Designee: _____ Date: _____



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 Our Site Set on the Future.

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 301.XXX.XXXX
 XXXXXX

CIVIL ENGINEER:
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 JASON EVANS, P.E.

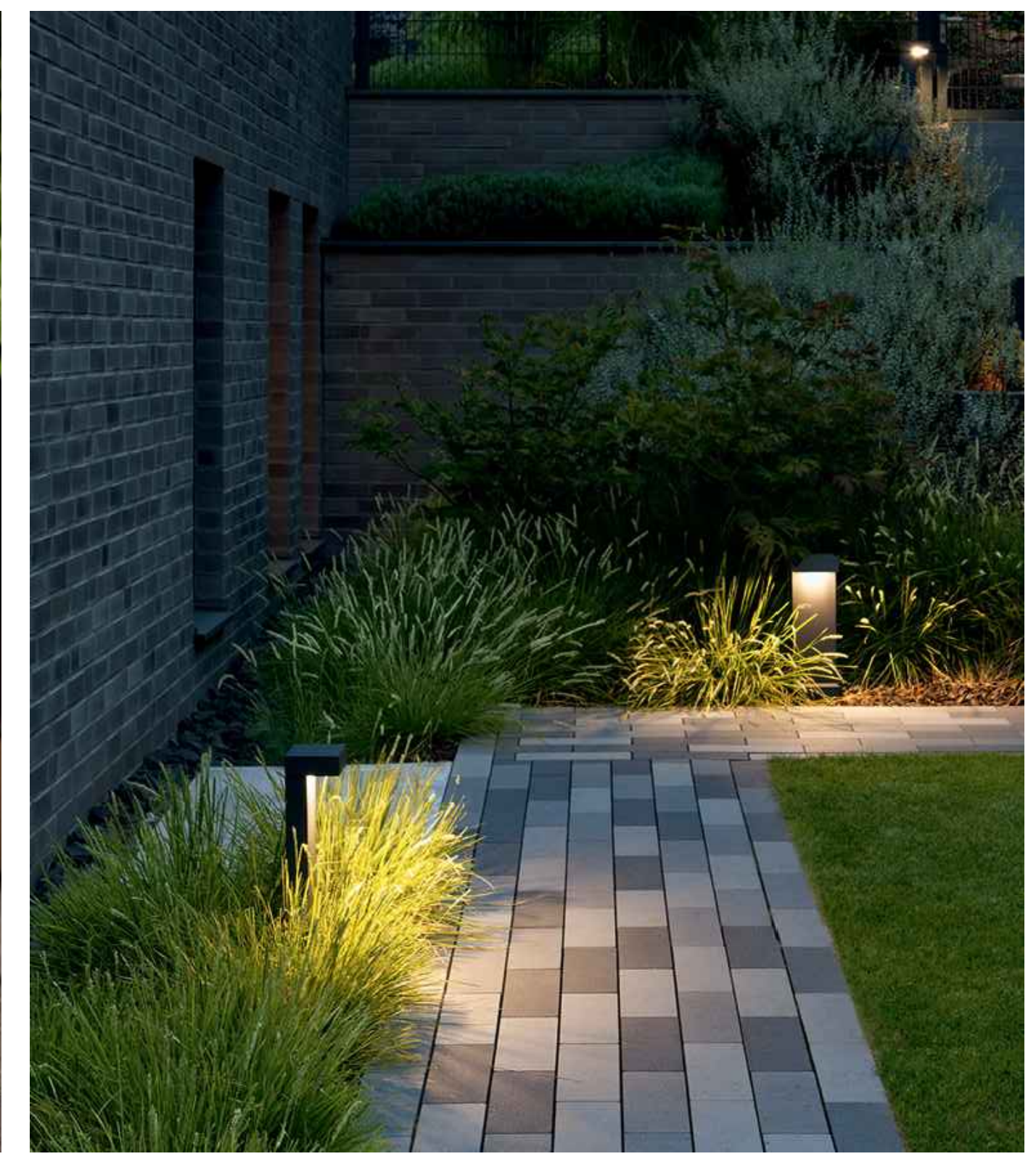
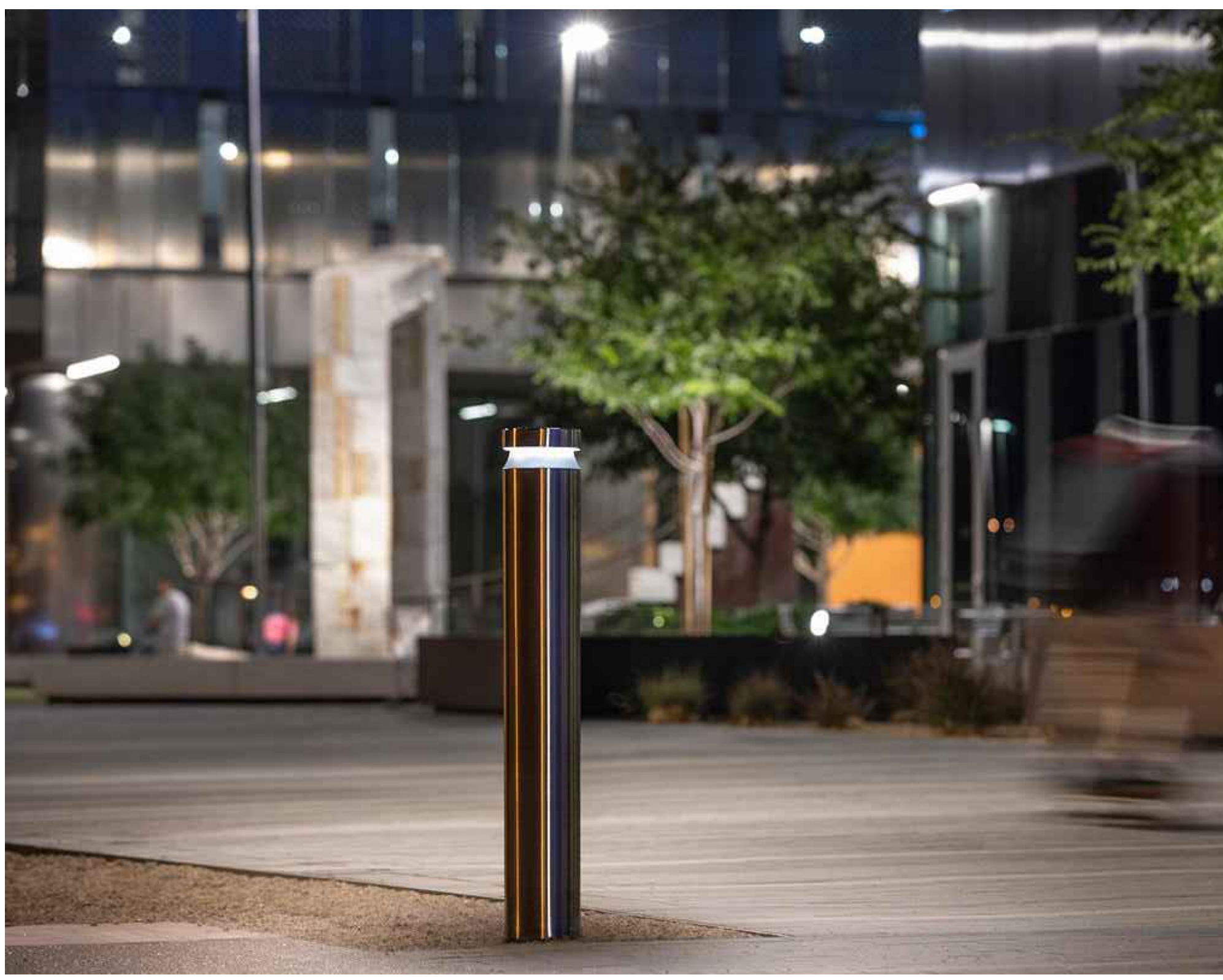
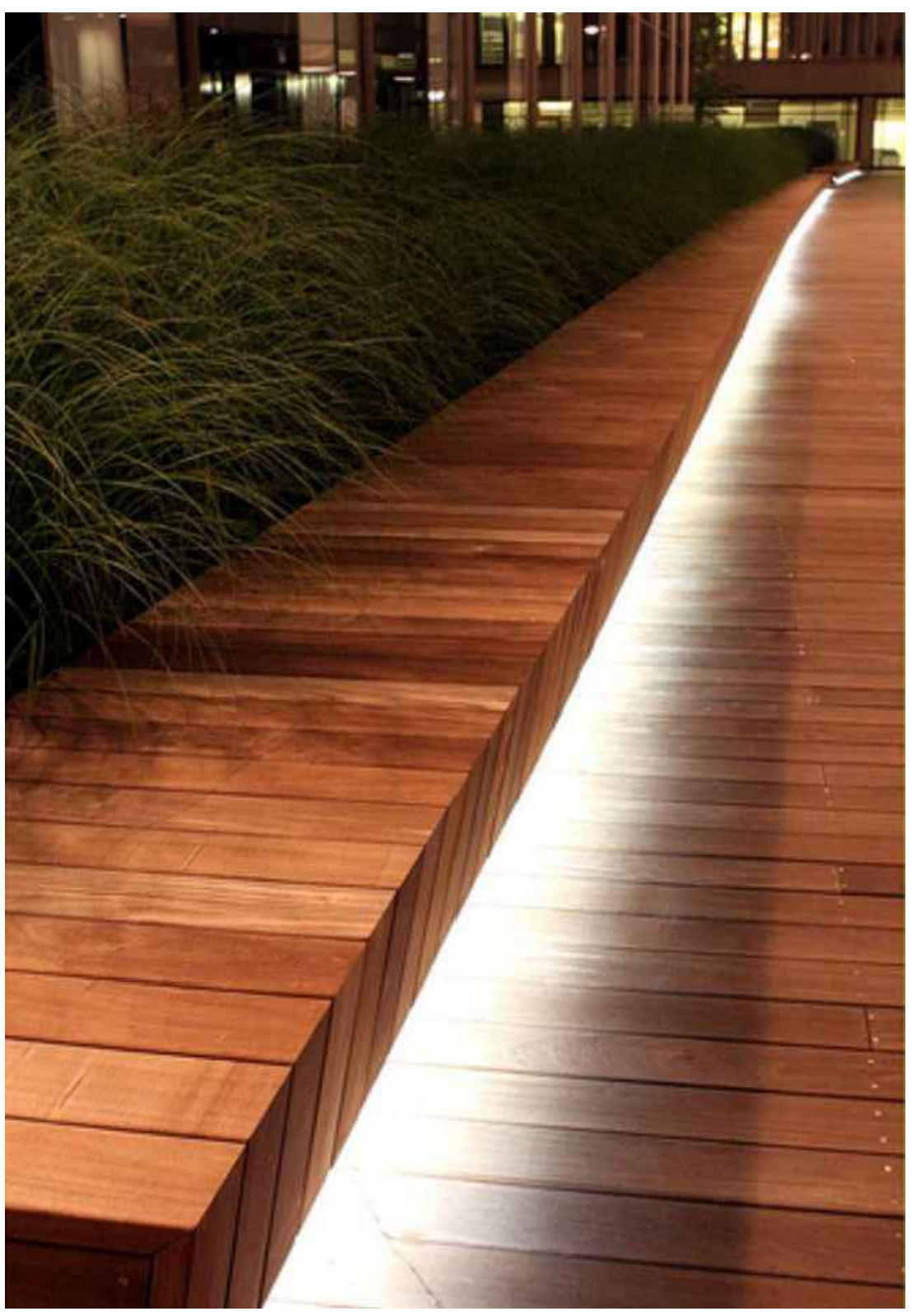
LAND PLANNER:
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 301.916.4100
 IAN P. DUKE

PLACEMAKING & AMENITIES | Category Descriptions 7

08-LL-82015001B-403

Category 7: Other Similar Public Benefits

Specialty Lighting: The Applicant may provide various types of accent/specialty lighting throughout the public use areas. Street lights to comply with Montgomery County standards. The design of the woonerf will be flexible enough to allow additional community focused programming, such as seasonal markets, career fairs, or educational events. The southern lawn will be designed as a more passive connection to Wall Local Park and will contain an expansive lawn for casual gatherings and events such as movie nights and picnics. Pole lights will allow the edges of the southern lawn to remain as open as possible; the location of the lights will not only ensure a comfortable and inviting environment, but will also allow for the flow of people on and off the lawn. The connection to Wall Park will include pole lights to ensure good visibility and design continuity in the liminal zone between the two spaces.



REVISIONS	DATE

EvolutionLabs
 North
 Bethesda
 1st ELECTION DISTRICT
 MONTGOMERY COUNTY,
 MARYLAND
 WSSC GRID: 215NW06
 TAX MAP: G062

82015001B

PROFESSIONAL SEAL



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© 2023 VIKA MARYLAND, LLC
 DRAWN BY: _____/MO/RJ
 DESIGNED BY: _____/PG/RJ
 DATE ISSUED: 12/21/2022
 VIKA PROJECT VM1614
 DRAWING NO.
 SHEET NO. L4.03

DEVELOPER'S CERTIFICATE
 The undersigned agrees to execute all the features of the Site Plan Approval No. 82015001B, including Approval Conditions, Development Program and Certified Site Plan.
 Developer's Name: _____
 Contact Person: _____
 Address: _____
 Phone: _____
 Signature: _____ Date: _____

"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO www.call81.com or http://www.misutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"
 The undersigned hereby certifies that all utility companies have been notified of the utility location and that the location of the utility is shown on the drawings. The undersigned is responsible for compliance with the requirements of Chapter 20A of the Montgomery County Code.